

- 1- GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. IF CONDITIONS DIFFER FROM THAT REPRESENTED IN THESE DRAWINGS, GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT PRIOR TO PERFORMING ANY PROPOSED WORK TO PROVIDE CORRECTIVE DETAILS.
- 2- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES LINES BEFORE CASTING FOUNDATIONS, OR CAST PROTECTION AROUND LINES AS REQUIRED.
- 3- PLUMBING CONTRACTOR TO VERIFY SIZE AND CAPACITY OF AVAILABLE SERVICE. ALL WORK TO BE IN STRICT COMPLIANCE WITH LOCAL CODE.
- 4- MECHANICAL CONTRACTOR TO VERIFY SIZE AND CAPACITY OF PROPOSED A.C. SYSTEM. NEW DUCTWORK TO BE 1 1/2" R-8 MIN. ALL WORK TO BE IN STRICT COMPLIANCE WITH MIN. ASHRAE AND LOCAL CODE.
- 5- CONSTRUCTION IN HIGH HAZARD FLOOD ZONE. A FEMA "UNDER CONSTRUCTION" ELEVATION CERTIFICATE MUST BE PROVIDED AT THE LINTEL INSPECTION.

THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO THE PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY AFFIXED TO STRUCTURE AS DIRECTED. THE ARCHITECT ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION, UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE ARCHITECT DURING CONSTRUCTION.

THE PROPERTY IS LOCATED WITHIN A HIGH HAZARD FLOOD ZONE AE II.0' B.F.E. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM WHATEVER SUB-GRADE TESTING THAT IS NECESSARY TO CONFIRM THE BEARING CAPACITY WITHOUT EXCESSIVE SETTLEMENT. IF SOIL OF THIS CAPACITY IS NOT AVAILABLE, NOTIFY THE ARCHITECT FOR CORRECTIVE DETAILS. THERE IS NO WARRANTY OF SOIL CONDITIONS BY THE ARCHITECT.

- CONSTRUCTION IN HIGH HAZARD FLOOD ZONE. I CERTIFY THE STRUCTURES SHOWN IN THE PLANS SUBMITTED ARE DESIGNED TO BE SECURELY ANCHORED TO ADEQUATE FOUNDATION, WALLS AND/OR COLUMNS'
- THE FILL FOUNDATION RECOMMENDED FOR THIS BUILDING IS DICTATED BY THE SOIL CONDITIONS AS IDENTIFIED BY THE TEST REPORT. CONTINUOUS STRIP FOOTINGS AND, OR SPREAD FOOTINGS SHOWN ON THE FOUNDATION PLAN ARE NOT INTENDED TO SUPPORT MAIN STRUCTURE ELEMENTS.
- ALL FILL UNDER FOUNDATIONS SHALL BE COMPACTED MIN. TO 95% OF MAXIMUM DENSITY (MODIFIED PROCTOR TEST) AT OPTIMUM MOISTURE CONTENT.

1. A WEATHER RESISTANT JOB SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE OWNER AND FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITES PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.
2. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITES TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRICAL PANEL.
- 3.-ALL WORK RELATED TO TERMITES PREVENTION TO BE PERFORMED ACCORDING w/ FLORIDA BUILDING CODE, SECTION 1916, SUBSECTIONS & CURRENT UPDATES.

- 1- VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, CONSTRUCTION DOCUMENTS AND PROPERLY COORDINATED APPROVED SHOP DRAWINGS.
- 2- EXPANSION AND CONTROL JOINTS ARE TO BE PLACED PER A.C.I. RECOMMENDATIONS.
- 3- THE CONTROL JOINTS PLACEMENT SHOWN ON THE FOUNDATION PLAN MAY BE ALTERED BY THE G.C. PROVIDED THE ARCHITECT IS NOTIFIED OF THIS ALTERATION FOR APPROVAL PRIOR TO CONSTRUCTION.
- 4- ALL REINFORCED CONCRETE SHALL BE NORMAL WEIGHT.
- 5- LAP HORIZONTAL STL. IN FOOTINGS AND TIE BEAMS 40 TIMES THE BAR DIAMETER. (IE 25" MIN. FOR #5 BAR).
- 6- PROVIDE CORNER BARS IN FOOTINGS, AND TIE BEAMS TO MATCH HORIZONTAL STEEL PROVIDING REQUIRED LAP.
- 7- SUBSTITUTION OF W.W.F. WITH FIBER-MESH REINFORCED CONCRETE FOR CONC. SLABS ON COMPACTED FILL IS AN APPROVED ALTERNATIVE. WHEN FIBER-MESH REINFORCING IS SELECTED FOR SLABS ON GRADE, NO OTHER STEEL REINFORCING IS REQUIRED U.N.O.

- 1.- THE GENERAL CONTRACTOR MUST BE IN ATTENDANCE AND MONITOR ALL REINFORCED MASONRY OPERATIONS INCLUDING DOWEL PLACEMENT.
- 2.- GROUT BLOCK CELL FILL SHALL HAVE 9" TO 10" SLUMP.
- 3.- LAP STL IN MASONRY WALLS AND BOND BEAMS 48 TIMES THE BAR DIAMETER. (I.E. 30" MIN. FOR #5 BAR).

- 1- ALL DESIGNS BY REGISTERED PROFESSIONAL ENGINEER IN STATE OF FLORIDA. SUBMIT TRUSS SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. TRUSS ATTACHMENT HARDWARE MAY BE MODIFIED IF REQUIRED.
- 2- ALL TRUSSES TO BE DESIGNED PER APPLICABLE PROVISIONS OF FLORIDA BUILDING CODE AND APPLICABLE TIMBER CODES. TOP CHORD OF TRUSSES TO BE #2 SOUTHERN PINE OR BETTER.

- 1- FOLLOW ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE, FOR ALL WOOD FRAMING INCLUDING BUT NOT LIMITED TO CONNECTIONS, BRACING, BRIDGING AND NAILING.
- 2- ALL WOOD SUBJECT TO MOISTURE EXPOSURE OR ADJACENT TO CONCRETE OR MASONRY SHALL BE OF AN APPROVED NATURALLY DURABLE SPECIES OR PRESERVATIVE TREATED APPROPRIATELY FOR ITS INTENDED USE, IN ACCORDANCE WITH FLORIDA BUILDING CODE, RESIDENTIAL, SECTION 317.
- 3- VERIFY SHEATHING TYPE AND THICKNESS WITH ROOF MATERIAL MANUFACTURER'S REQUIREMENTS FOR WIND LOADING RESISTANT ATTACHMENT.
- 4- SUFFICIENT VENTILATION UNDER ROOF AREAS SHALL BE PROVIDED. (F.B.C. RESIDENTIAL, SECTION 806.1)

- 1.- ALL HOLD-DOWNS HANGERS, CLIPS, ETC. TO BE SIMPSON STRONG-TIE OR APPROVED EQUAL.
- 2.- ALL CONNECTORS AND FASTENER EXPOSED TO WEATHER SHALL BE LONG LIFE AND CORROSION RESISTANT.
- 3.- ALL CONNECTORS AND FASTENERS THROUGH OR ADJACENT TO ACQ PRESERVATIVE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED, STAINLESS STEEL OR SPECIFICALLY APPROVED FOR SUCH USAGE BY THE MANUFACTURER.
- 4.- CONTINUOUS TIE-DOWN SYSTEM TO BE MIN. 1/2" Ø THREADED ROD, EPOXIED 6" INTO CONCRETE OR MASONRY BOND BEAM, 1/2" Ø COUPLINGS & NUT WITH 2" SQUARE WASHER @ TOP OF FRAME WALL. SEE PLANS, SECTIONS & DETAILS FOR SPECIAL SIZE & TOP MOUNTED CONNECTORS.

- 1.- ALL WINDOWS TO HAVE LAMINATED IMPACT RESISTANT GLASS, IN COMPLIANCE WITH FLORIDA BUILDING CODE.
- 2.- ALL DOORS TO HAVE TEMPERED & LAMINATED IMPACT RESISTANT GLASS TO MEET LIFE SAFETY STANDARDS & IN COMPLIANCE WITH FLORIDA BUILDING CODE.
- 3.- ALL WINDOWS & DOORS ARE TO BE TESTED IMPACT RESISTANT PRODUCTS INSTALLED PRECISELY AS INSTRUCTED BY THE MANUFACTURER.

REINFORCING STEEL	$f_y =$	60,000 psi GRADE 60 - ASTM A615
WELDED WIRE FABRIC		6x6 W14xW14 U.N.O.
CONCRETE SLABS, BEAMS, FOOTINGS	$f_c =$	3,000 psi
REINFORCED MASONRY	$f_c =$	1,500 psi
C.M.U. MIN. COMPRESSIVE STRENGTH		2,000 psi (NET AREA)
C.M.U. MIN. PRISM STRENGTH	$f'_{m} =$	1,500 psi, U.N.O.
MASONRY GROUT	$f_c =$	3,000 psi
MORTAR FOR MASONRY		TYPE S OR M
STRUCTURAL FRAMING LUMBER		#2 SYP
LVL BEAMS	$F_b =$	2,850 psi, 2.0E
PSL COLUMNS		1.0E

SHEATHING DIAPHRAGM: (FBCR TABLE R803.2.2 & R803.2.3.1)
 - ROOF - ALL ZONES: 10/32" AFA RATED PLWD.
 UNBLOCKED PANEL ALLOWABLE SHEAR = 300 lbs./FT.
 FASTEN TO WD. TRUSSES WITH 8d (2 1/2" x 0.131" - 10GA) DEFORMED NAILS SPACED @ 4" O.C. AT ENDS, EDGES, CUTS, TERMINATIONS & INTERIOR SUPPORTS. FASTEN SHEATHING TO SUB-FASCIA @ 4" O.C.
 - WD. FRAME WALLS - EXTERIOR FACE 10/32" AFA RATED PLWD
 BLOCKED PANEL ALLOWABLE SHEAR = 300 lbs./FT.
 FASTEN TO WD. STUDS WITH 8d (2 1/2" x 0.131" - 10GA) DEFORMED NAILS SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR SUPPORTS.
 - WD. FRM. WALLS - INTERIOR FACE 1/2" GYPSUM BOARD
 BLOCKED PANEL ALLOWABLE SHEAR = 145 lbs./FT.
 FASTEN TO WD. STUDS WITH 1 1/2" DRYWALL SCREWS SPACED @ 8" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. INTERIOR SUPPORTS.
 - WD. FRM. WALLS (INTERIOR BELOW D.F.E.) 1/2" CEMENT FIBER BOARD
 FASTEN TO WD. STUDS WITH #8 x 1 1/4" CEMENT BOARD SCREWS SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. INTERIOR SUPPORTS.
 - FLOOR - DECK 23/32" T&G AFA RATED PLWD
 UNBLOCKED PANEL ALLOWABLE SHEAR = 450 lbs./FT.
 FASTEN WITH #10 x 2 1/2" BUGLE HEAD SCREWS OR 10d (3" x 0.120" - 9GA) SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR SUPPORTS.
 - CEILINGS - INTERIOR 5/8" GYP. BD. OR 1/2" CEIL. BD.
 FASTEN TO TRUSSES OR RAFTERS WITH 1 5/8" DRYWALL SCREWS @ 8" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR SUPPORTS.
 - CEILINGS - GARAGE BELOW HAB. ROOMS. 5/8" TYPE 'X' GYP. BD.
 FASTEN TO TRUSSES OR RAFTERS WITH 1 7/8" DRYWALL SCREWS @ 6" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & INTERIOR SUPPORTS.
 - UNDER STAIRS - WALLS & CEILING: 1/2" GYP. BD. (1/2" CEM. BD. BELOW DFE)
 FASTEN TO WOOD MEMBERS & BLOCKING WITH 1 5/8" DRYWALL SCREWS (OR #8 x 1 1/4" CEMENT BOARD SCREWS) @ 8" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR SUPPORTS.

ZONE	EFFECTIVE WIND AREA (ft ²)	WIND SPEED (Vult)	146 MPH (Vult)	
			Pos	Neg
GABLE ROOF 0 TO 7 DEGREES		(0 TO 12 ; 12)		
1'	10.0		15.9	-35.8
1'	20.0		15.0	-35.8
1'	50.0		13.6	-35.8
1'	100.0		12.6	-35.8
1	10.0		15.9	-62.4
1	20.0		15.0	-58.2
1	50.0		13.6	-52.8
1	100.0		12.6	-48.7
2	10.0		15.9	-82.3
2	20.0		15.0	-77.0
2	50.0		13.6	-70.0
2	100.0		12.6	-64.7
3	10.0		15.9	-112.2
3	20.0		15.0	-101.6
3	50.0		13.6	-87.6
3	100.0		12.6	-77.0
WALL				
4	10.0		39.2	-42.4
4	20.0		37.4	-40.7
4	50.0		35.0	-38.4
4	100.0		33.4	-36.6
5	10.0		39.2	-52.4
5	20.0		37.4	-48.9
5	50.0		35.0	-44.2
5	100.0		33.4	-40.7
GARAGE:	WIDTH	HEIGHT		
	10 TO 16	8.0		
			32.8	-36.6
			113 MPH (Vasd)	

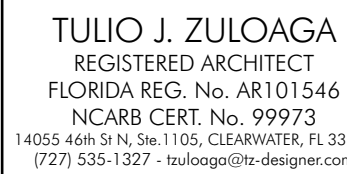
$$a = 4.0$$

<u>RAIN LOADS:</u>	
FLAT OR LOW SLOPED ROOF	20.9 PSF @ 4.06"/HR.
<u>SOIL BEARING PRESSURE:</u>	SEE GEOTECH REPORT
<u>GEOTECH REPORT:</u>	CENTRAL FLORIDA TESTING LABORATORIES, INC. PROJECT No. 247012
<u>DEFERRED SUBMITTALS:</u>	PRE-ENGINEERED FLOOR & ROOF TRUSSES
<u>PRODUCT APPROVALS:</u>	SEE TABLE THIS SHEET.

DISCLAIMER:

- THE PRODUCTS LISTED IN THE PRODUCT APPROVAL TABLE ARE PROVIDED FOR PLAN REVIEW AND PERMIT PURPOSES.
- THE ARCHITECT ASSUMES NO LIABILITY FOR THE PERFORMANCE OF THESE PRODUCTS, AS THESE WERE DESIGNED AND TESTED BY THE MANUFACTURERS, AND APPROVED AFTER MEETING THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- BY SIGNING AND SEALING THIS DOCUMENT, THE ARCHITECT IS ACCEPTING THE RESPONSIBILITY FOR THE SELECTION OF THESE PRODUCTS.
- IF THE FINAL SELECTIONS DIFFER PARTIALLY OR TOTALLY FROM THE PRODUCTS LISTED IN THIS TABLE, THE OWNER, AGENT AND / OR GENERAL CONTRACTOR ARE RESPONSIBLE FOR PROVIDING COPIES OF THE FLORIDA BUILDING CODE PRODUCT APPROVALS AND INSTALLATION INSTRUCTIONS TO THE AUTHORITY HAVING JURISDICTION.

A-0.1



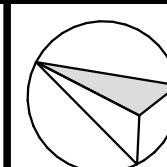
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CONSULTANTS

JOSEPH W. BELT, P.E.
CONSULTING STRUCTURAL ENGINEER
FLORIDA REG.# 45147 - CA # 29694
1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

J.W.B JOB No.: ET23-1053



A NEW RESIDENCE

ELLIS COASTAL
PROPERTIES 2

12455 6TH STE
TREASURE ISLAND
FLORIDA 33706

	02/19/24	SETBACKS
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MARK	DATE	REVISION
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DATE OF ISSUE: 01/19/24

PROJECT No.:	23-052
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PROJECT NO.:	25092
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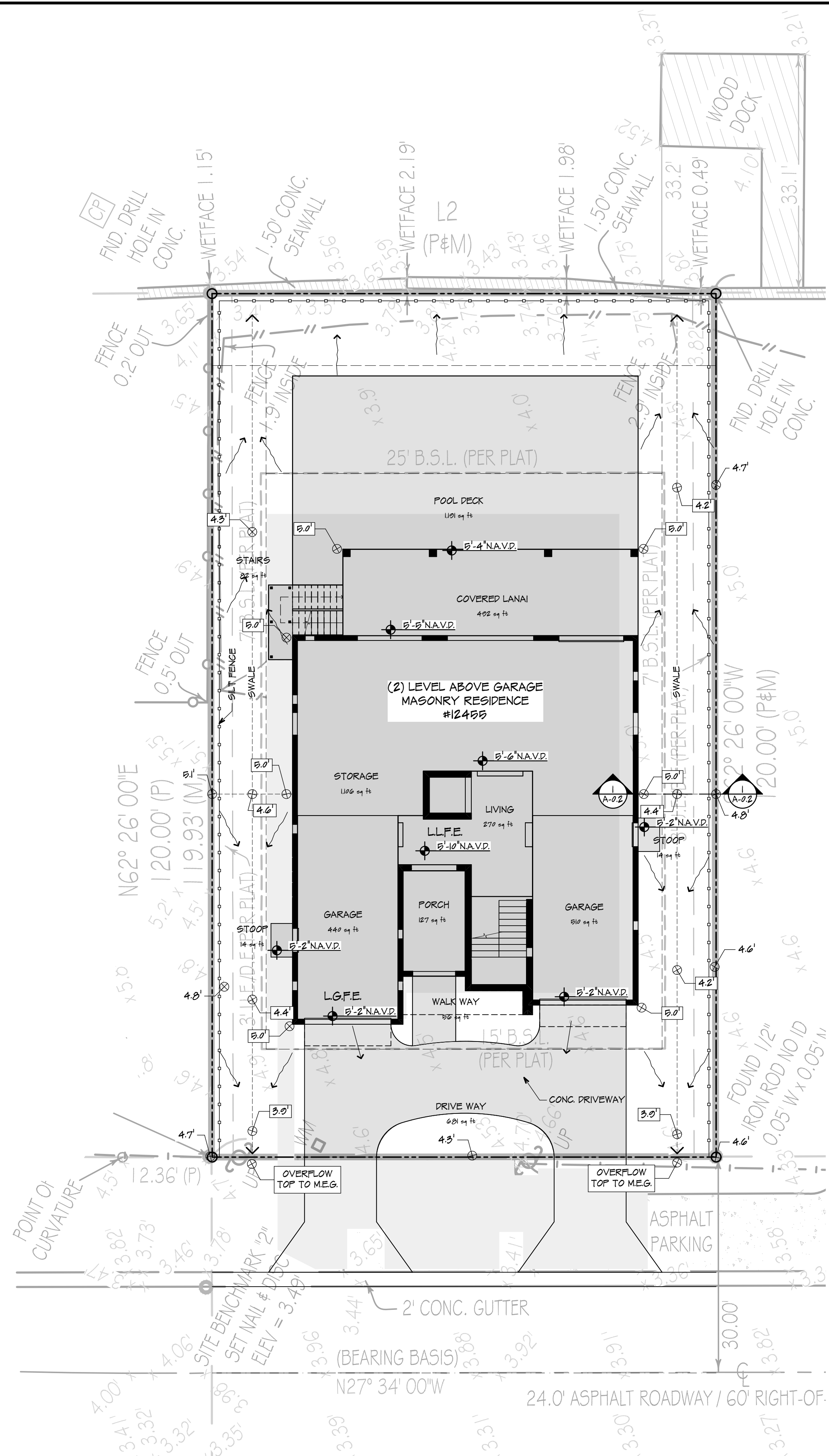
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DRAINAGE PLAN

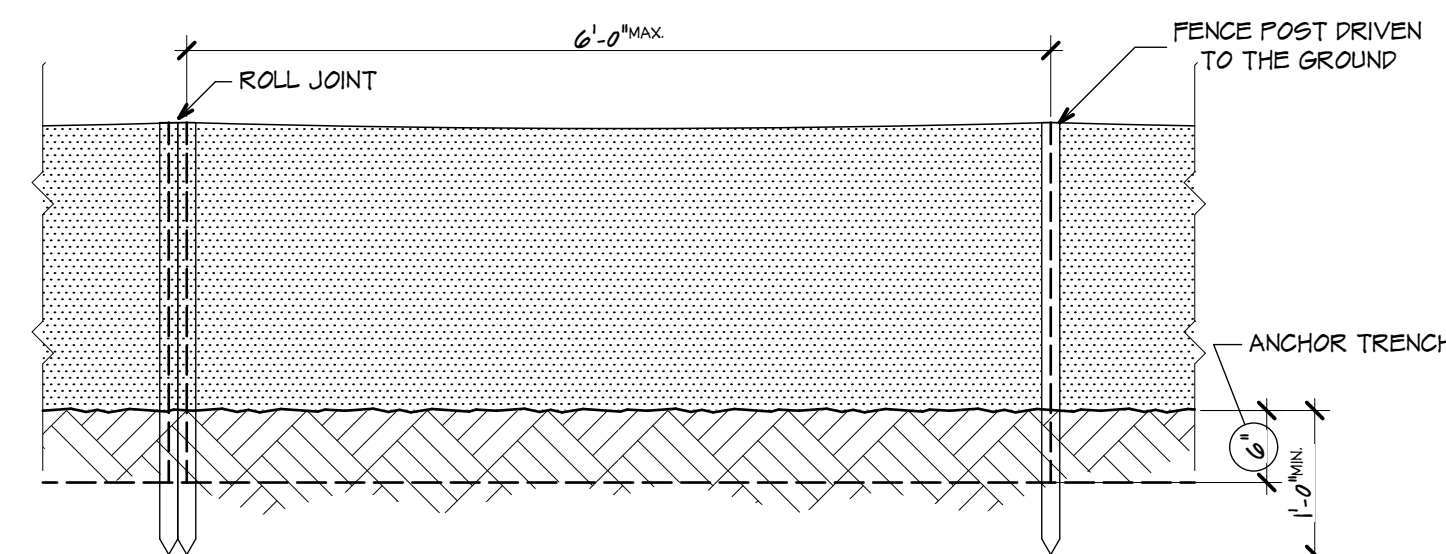
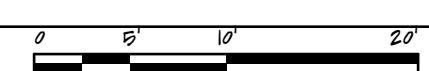
DRAINAGE PLAN

A-0.2

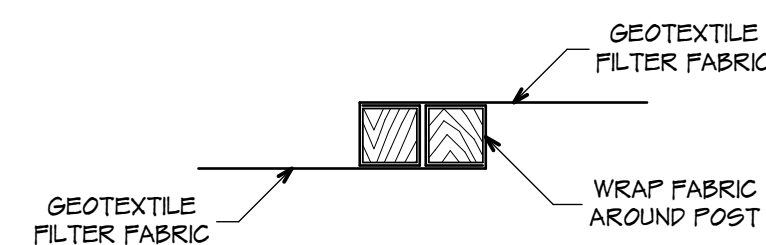


DRAINAGE PLAN

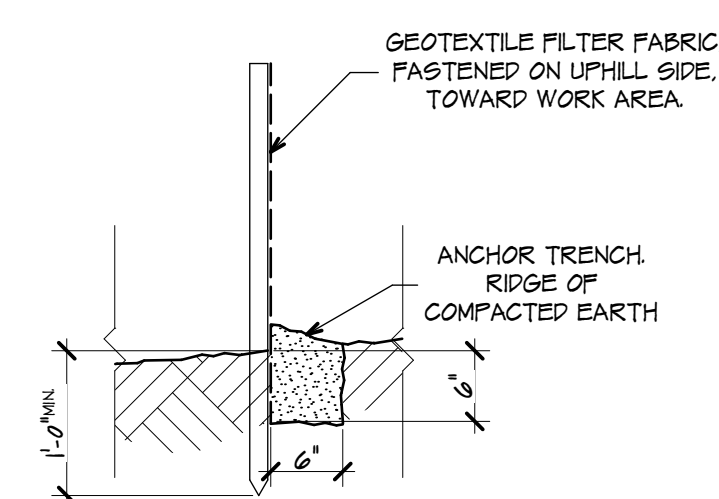
SCALE: 1" = 10'



FRONT VIEW



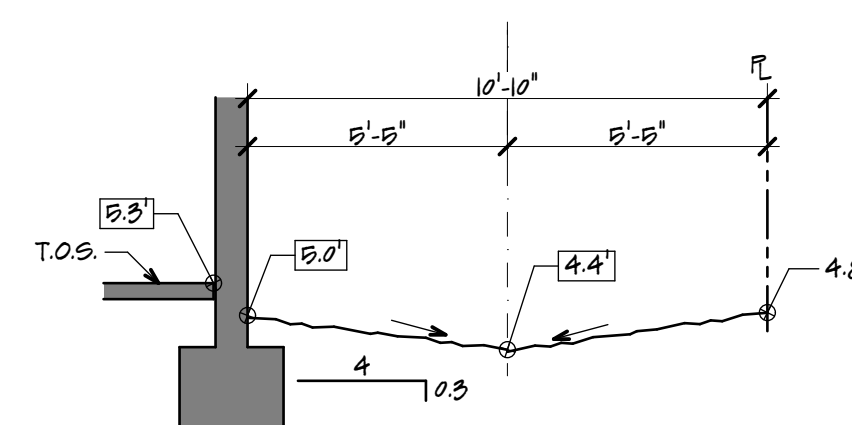
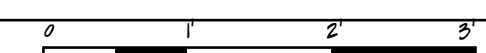
ROLL JOINT DETAIL



SECTION

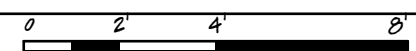
SILT FENCE DETAILS





SCALE: $3/4'' = 1'-0''$



SWALE SECTION

SCALE: $1/4'' = 1'-0''$

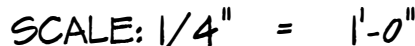


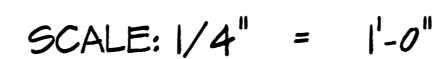
LEGEND	
MARK	DESCRIPTION
	EXISTING GRADE ELEVATION
	PROPOSED GRADE ELEVATION
	GROUND DRAINAGE PITCH
	TREE TO BE REMOVED

BUILDING AREAS			
	NAME	LEVEL	AREA
LIVING			
	LIVING	-1	27
	LIVING	1	2.42
	LIVING	2	1.78
			4.46 ft
OPEN COVERED			
	PORCH	-1	12
	COVERED LANAI	-1	40
	COVERED LANAI	1	40
	COVERED LANAI	2	40
			1.603 ft
GARAGE			
	GARAGE	-1	95
			950 ft
STORAGE			
	STORAGE	-1	110
			1106 ft
			8.115 ft

LOT COVERAGE		
	NAME	AREA
BUILDING		
	LIVING	27
	PORCH	12
	COVERED LANAI	40
	GARAGE	98
	STORAGE	110
		2,045 H
OTHERS		
	DRIVE WAY	68
	STAIRS	8
	STOOP	28
	WALK WAY	50
		847 H
POOL		
	POOL DECK	110
		110 H
		4,203 H

SITE DATA		
NAME		AREA
LOT		8.40
BUILDING COVERAGE	2.945	35%
IMPERVIOUS SURFACE	4.083	50.3%







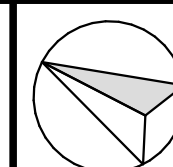
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
J.W.B JOB No.: ET23-1053



A NEW RESIDENCE

ELLIS COASTAL
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FLORIDA 33706

		
	02/19/24	SETBACKS
MARK	DATE	REVISION

DATE OF ISSUE: 01/02/24

DATE OF ISSUE:	01/10/24
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PROJECT NO.:	25/09/20
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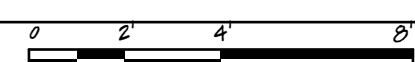
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SECOND LEVEL
FLOOR PLAN





A-1.3



SCALE: $1/4'' = 1'-0''$



LEGEND

-  8" MASONRY WALL
 2x WD. STUDS @ 16" O.C. PARTITION
 POLYURETHANE SPRAYED FOAM INSULATION,
 ICYNENE OPEN-CELL OR APPROVED EQUAL
 (ON 2x4 R-13 / ON 2x6 R-19)
 FLOW-THRU OPENING

NOTES:

- 1.- ALL EXTERIOR FRM. WALLS TO BE 2x6 WD. STUDS U.N.O.
- 2.- ALL INTERIOR FRM. WALLS TO BE 2x4 WD. STUDS U.N.O.
- 3.- FOR ALL WALLS & CEILINGS SHEATHING MATERIALS & FASTENING INSTRUCTIONS. SEE SHEET A-01. STRENGTH OF MATERIALS, SHEATHING DIAPHRAGM NOTES.
- 4.- ALL MATERIALS & INSTALLATION METHODS FOR FLOORING & INTERIOR & EXTERIOR WALLS & WALL COVERINGS BELOW DESIGN FLOOD ELEVATION SHALL BE FLOOD-DAMAGE RESISTANT THAT CONFORM TO THE PROVISIONS OF FEMA TB-2. INTERIOR PARTITIONS TO BE 2x P.T. PLATES & STUDS w/ 1/2" CEMENT BOARD. INTERIOR STAIR STRINGERS & SUB-TREADS TO BE 2x P.T.



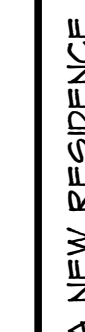
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J.W.B JOB No.: ET23-1053



ELLIS COASTAL
PROPERTIES 2

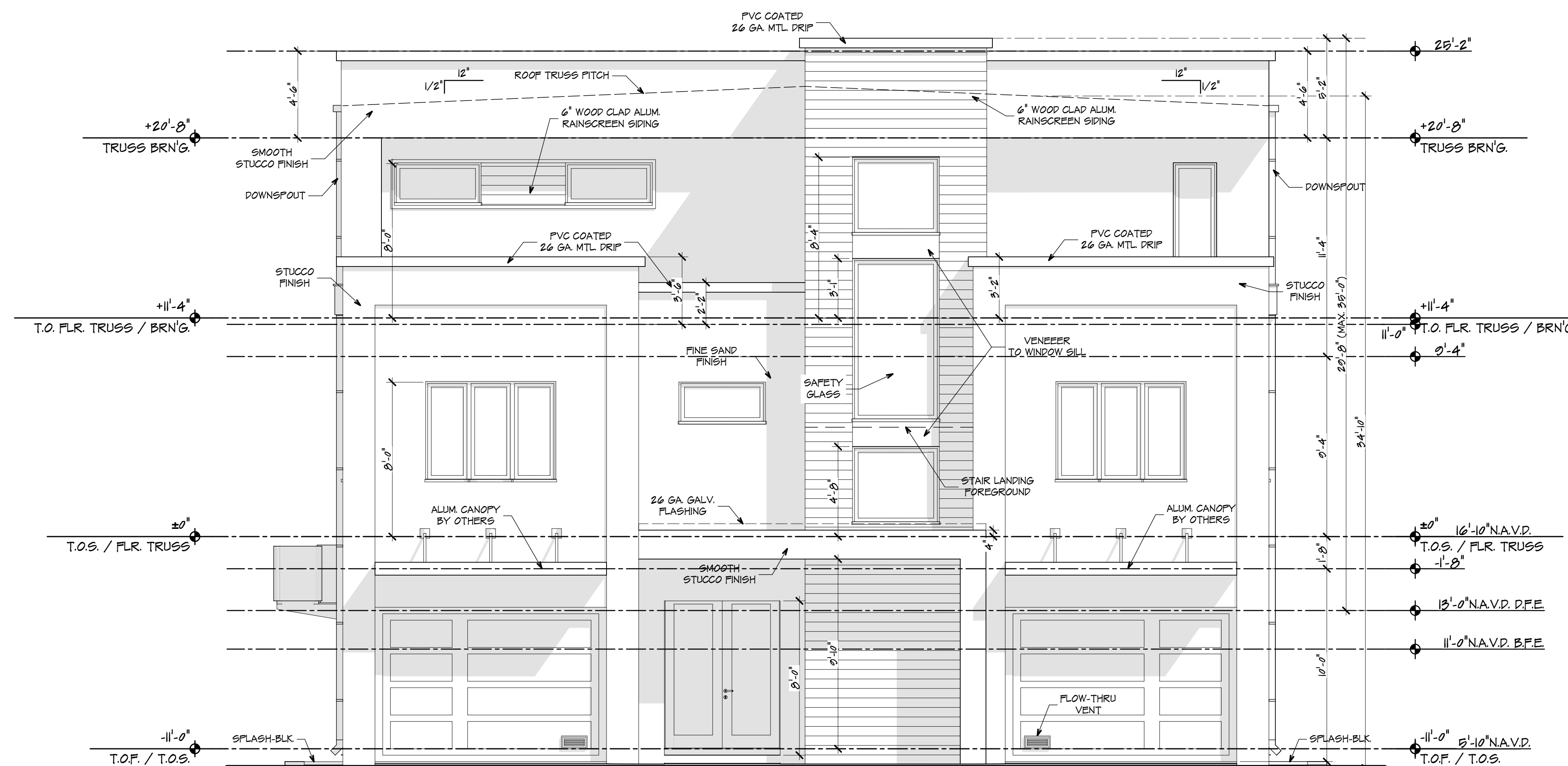
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MARK	DATE	REVISION

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CHECKED BY:	T.J.Z
SHEET TITLE	

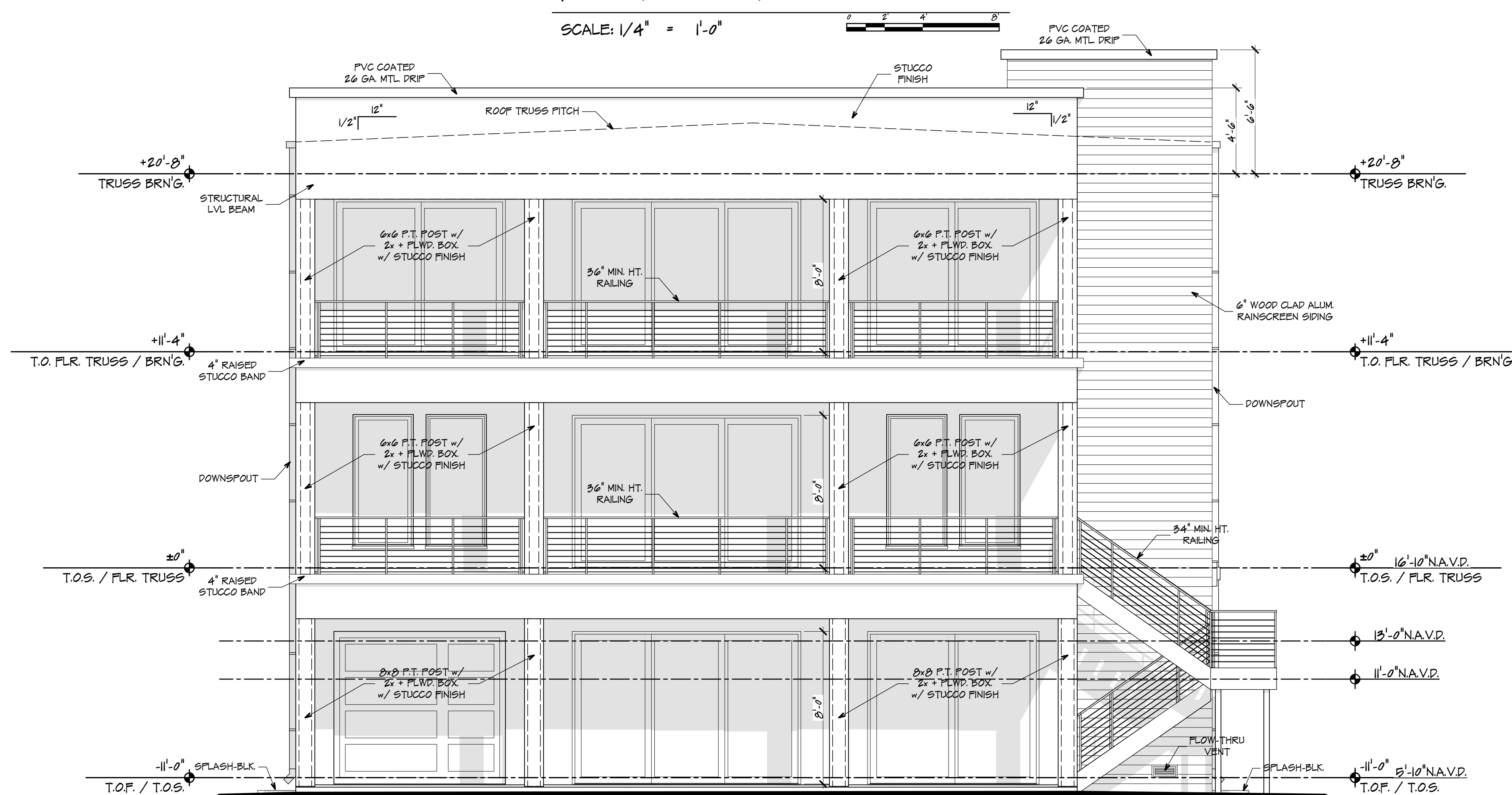
ELEVATIONS

A-2.1



FRONT ELEVATION

SCALE: $1/4'' = 1'-0''$



REAR ELEVATION

SCALE: $1/4'' = 1'-0''$

STUCCO NOTES:

- 1- STUCCO OVER MASONRY WALLS TO BE MIN. 5/8" THICK.
(2) COATS.
- 2- STUCCO OVER WOOD FRAME WALLS TO BE MIN. 7/8"
THICK. (3) COATS, OVER FELT BACKED MTL. LATH OVER
TYVEK HOUSE WRAP.
- 3- PROVIDE CONTROL JOINTS PER ASTM C-1063-03, 7.11.4.1.
(AREAS WITH NO MORE THAN 144 SQ.FT. BETWEEN
CONTROL JOINTS)

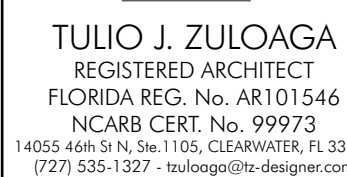
SIDING NOTES:

- 1- FASTEN FURRING STRIPS w/ SUREPIN, AEROSMITH FASTENING SYSTEMS, OR APPROVED EQUIVALENT. 1 1/4" LG. (MIN. 3/4" PENETRATION) @ 16" O.C. VERT. TO STRUCTURAL WEB OF MASONRY BLOCK.
- 2- 1/2" IPE WOOD RAINSCREEN SIDING & TRIM BOARDS, INSTALLED w/DeckWise SIDING FASTENERS OVER TYVEK HOUSE WRAP & 1/2" FURRING STRIPS @ 16" O.C.
- 3- DeckWise STARTER CLIPS, HIDDEN SIDING FASTENERS & #8x2" STAINLESS STEEL TRIM HEAD SCREWS INSTALLED PER MANUFACTURER SPECIFICATIONS.

GUTTERS & DOWNSPOUTS NOTES &

CALCULATIONS:

- 1.- GUTTERS & DOWNSPOUTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 2.- THE GUTTERS & DOWNSPOUTS CALCULATIONS ARE IN ACCORDANCE WITH TABLES 1106.3 & 1106.6 OF THE 2017 F.B.C. PLUMBING, SIXTH EDITION.
- 3.- THE SIZES OF THE GUTTERS & DOWNSPOUTS WERE MADE FOR THE SIDE OF THE BUILDING WITH THE HIGHEST RAIN WATER VOLUME (SOUTH SIDE), & MATCHED FOR THE OTHER SIDES OF THE BUILDING.
- 4.- RAINFALL RATE: 4.5 IPH EQUIVALENT TO 0.0468 GPM CALCULATIONS:
AREA ROOF: 2,473 SF
TOTAL AREA ROOF: 2,473 SF x 0.0468 GPM= 116 GPM
- 5.- VERTICAL LEADER MIN. SIZE 4"Ø. CAPACITY = 192 GPM.
- 6.- GUTTER MIN. SIZE 6". CAPACITY = 197 GPM.
- 7.- SEE FLOOR PLAN & ELEVATION FOR LOCATIONS.



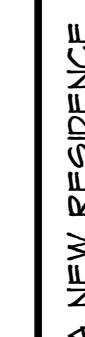
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CONSULTANTS

JOSEPH W. BELT, P.E.
CONSULTING STRUCTURAL ENGINEER
FLORIDA REG.# 45147 - CA # 29694
1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

J.W.B JOB No.: ET23-1053



ELLIS COASTAL
PROPERTIES 2

12455 6TH ST E
TREASURE ISLAND
FLORIDA 33706

	02/19/24	SETBACKS
MARK	DATE	REVISION

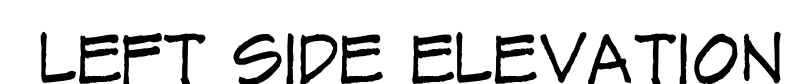
DATE OF ISSUE:	01/10/24
PROJECT No.:	23-0582
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CHECKED BY:	T.J.Z
SHEET TITLE	

ELEVATIONS

A-2.2



SCALE: $1/4'' = 1'-0''$



SCALE: $1/4'' = 1'-0''$

STUCCO NOTES:

- 1- STUCCO OVER MASONRY WALLS TO BE MIN. 5/8" THICK.
(2) COATS.
- 2- STUCCO OVER WOOD FRAME WALLS TO BE MIN. 7/8"
THICK. (3) COATS, OVER FELT BACKED MTL. LATH OVER
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- 3- PROVIDE CONTROL JOINTS PER ASTM C-1063-03, 7.11.4.1.
(AREAS WITH NO MORE THAN 144 SQ.FT. BETWEEN
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- 7.- SEE FLOOR PLAN & ELEVATION FOR LOCATIONS.



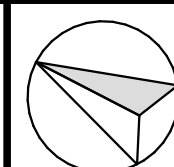
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1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031


J.W.B JOB No.: ET23-1053



A NEW RESIDENCE

ELLIS COASTAL
PROPERTIES 2

12455 6TH ST E
TREASURE ISLAND
FLORIDA 33706

		
	02/19/24	SETBACKS
MARK	DATE	REVISION

DATE OF ISSUE: 01/09/24

PROJECT No.:	23-052
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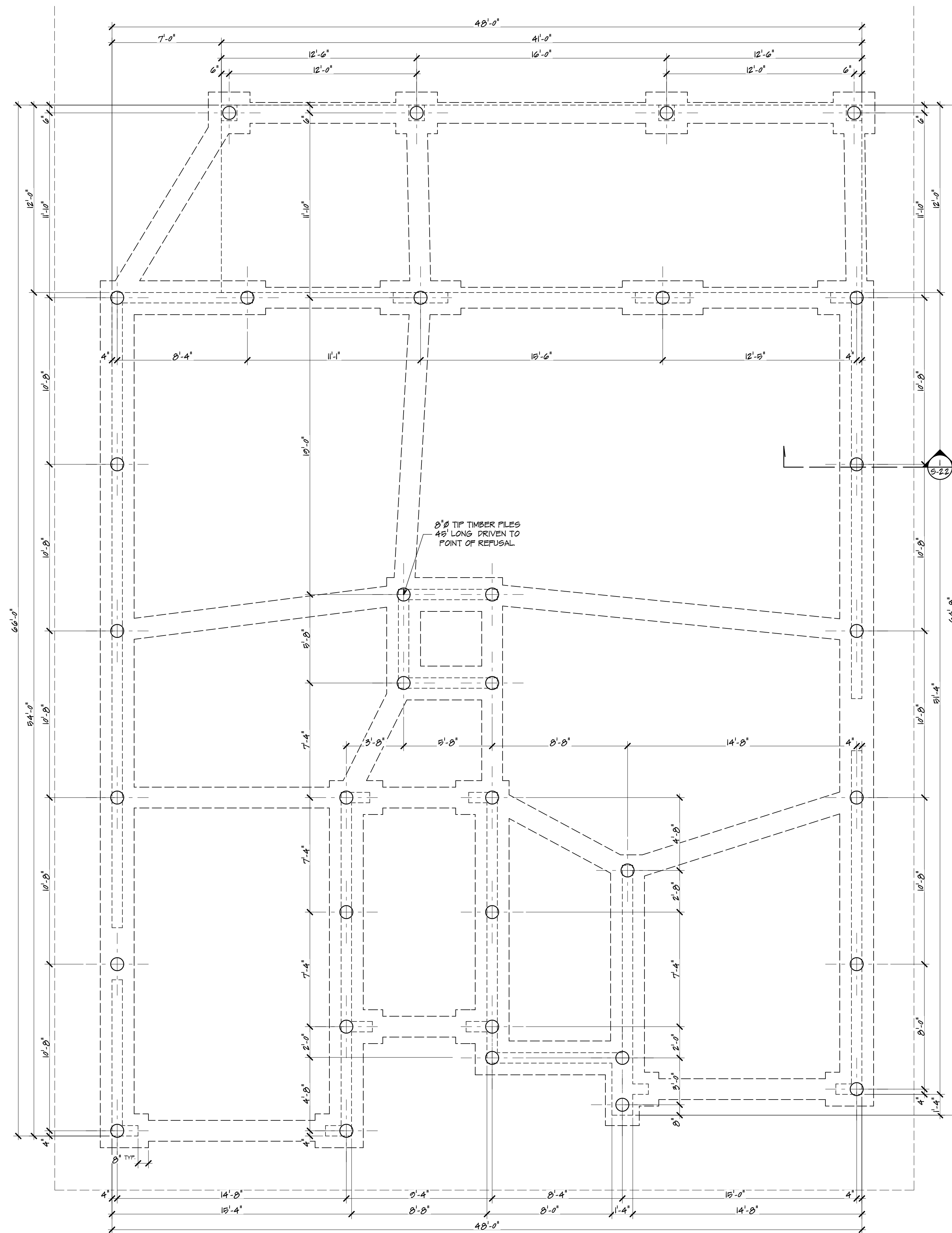
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CHECKED BY: T.J.Z.

SHEET TITLE

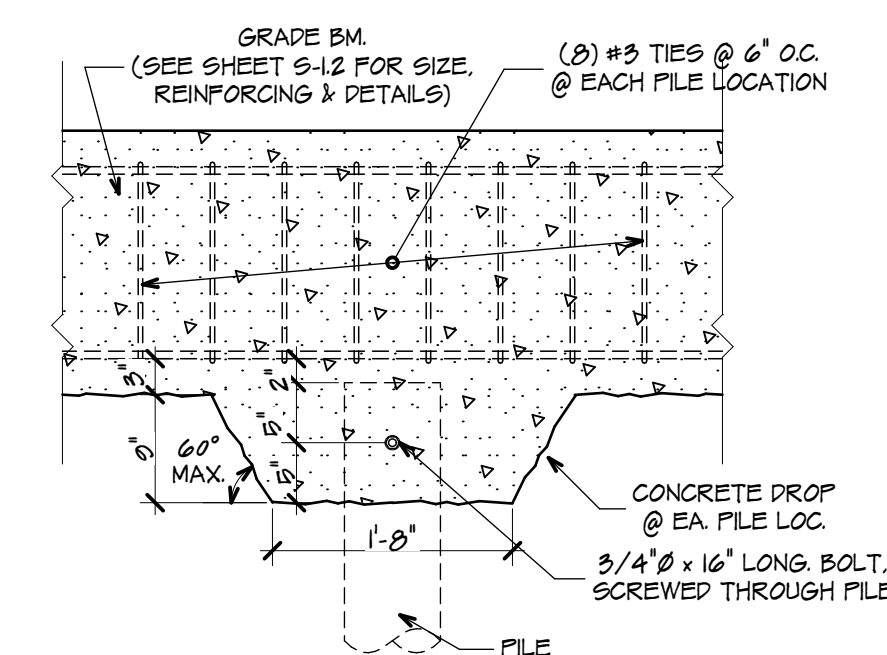
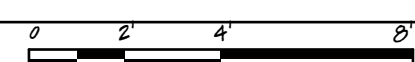
PILING PLAN

S-1.1



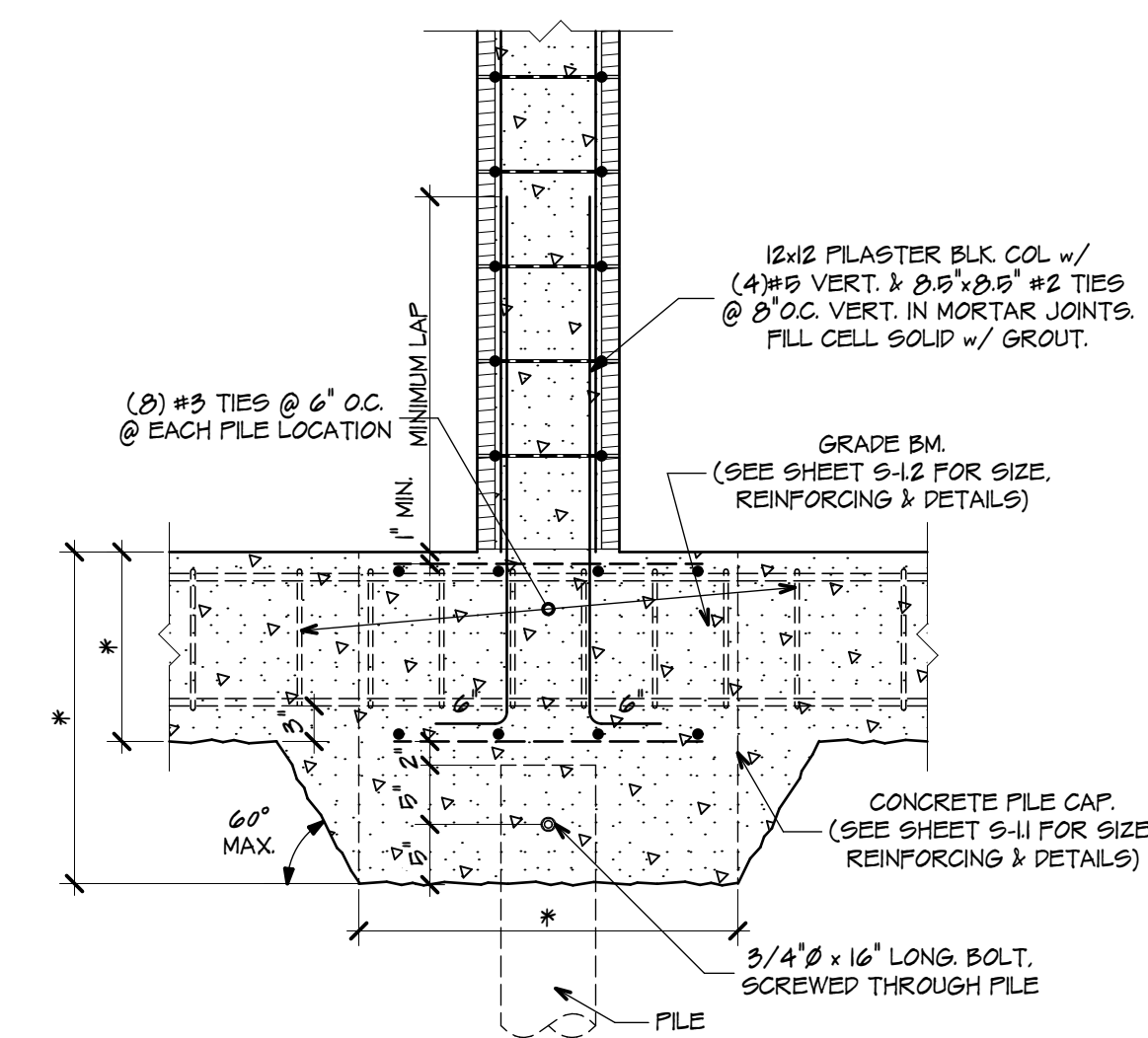
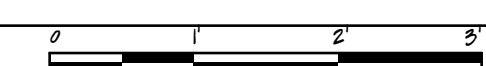
PILING PLAN

SCALE: $1/4'' = 1'-0''$



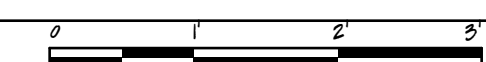
GRADE BEAM DETAIL


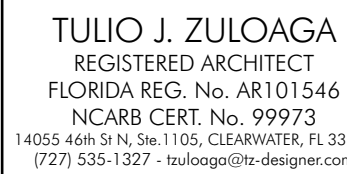
SCALE: $3/4" = 1'-0"$



FILE CAP DETAIL

SCALE: $3/4" = 1'-0"$





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PH: 813-961-3075 FAX: 813-961-1031


J.W.B JOB No.: ET23-1053



A NEW RESIDENCE

ELLIS COASTAL
PROPERTIES 2

12455 6TH ST E
TREASURE ISLAND
FLORIDA 33706

	02/19/24	SETBACKS
MARK	DATE	REVISION

DATE OF ISSUE: 01/09/20

PROJECT No.:	23-08
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PROJECT NO.:	250
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DRAWN BY:	DATE:
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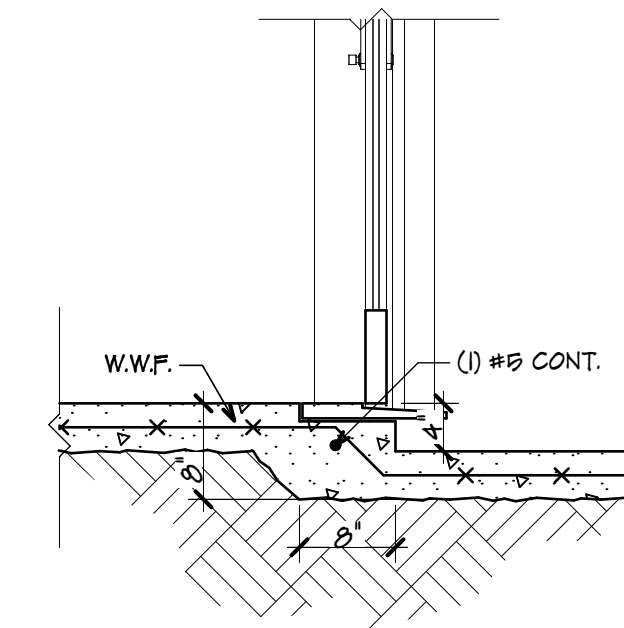
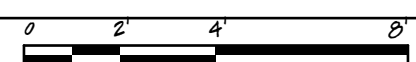
CHECKED BY:	1.0
SHEET TITLE	

FOUNDATION
PLAN

S-1.2

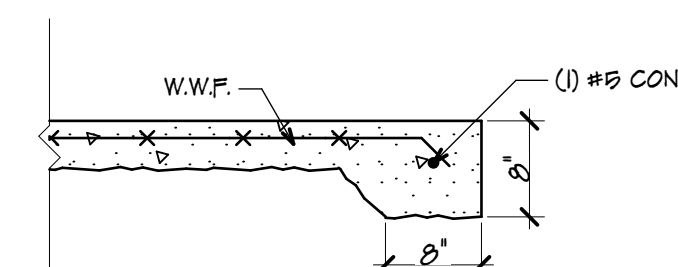
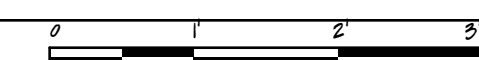


SCALE: $1/4'' = 1'-0''$



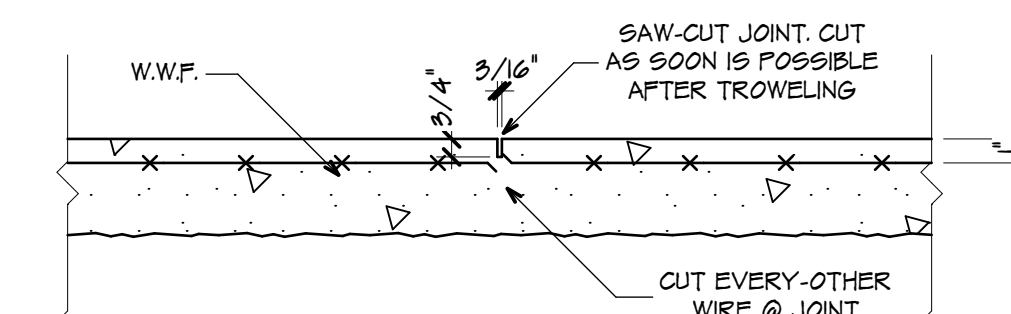
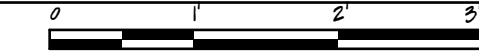
STEP SECTION

S-1.2 SCALE: $3/4" = 1'-0"$



② THICKENED EDGE SECTION

S-1.2 SCALE: $3/4" = 1'-0"$

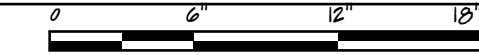


NOTES:

- 1.- CUT AS SOON AS AGGREGATE DOES NOT DISLODGE.
(MUST BE WITHIN 12 HOURS OF CONCRETE PLACEMENT).
- 2.- HAND TOOL JOINT TO FACE OF WALL WHERE SAW WILL NOT REACH.

3 CONTROL JOINT DETAIL

S-1.2 SCALE: 1 1/2" = 1'-0"



FOUNDATION NOTES:

- 1.- THE NOTED CONCRETE FOOTINGS, PADS, POST &/OR COLUMN SIZES, & HOLD-DOWN CONNECTORS ARE SUBJECT TO CHANGE UPON COORDINATION W/ TRUSS MANUFACTURER'S FLOOR & ROOF TRUSSES LAYOUTS AND REACTIONS REPORTS. THE ARCHITECT IS NOT RESPONSIBLE FOR FOUNDATION RELATED WORK PERFORMED PRIOR UPPER STRUCTURE REPORTS ISSUANCE & COORDINATION.
- 2.- HOLD ALL FOOTINGS:
GRADE BEAMS TOP: MIN. 12" BELOW FINISHED GRADE.
ISOLATED PADS BOT: MIN. 16" BELOW FINISHED GRADE.
- 3.- ALL 4" CONC. SLABS W/ 6x6 W.I.#4x14 W.W.F. IN TOP 1" OF SLAB, OVER 6 MIL VAPOR BARRIER ON COMPACTED FILL W/ TERMITTE TREATMENT.
- 4.- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS SIZES REQUIRED BY WINDOWS & DOORS MANUFACTURERS, PRIOR LOCATING #5 DOWELS.

FOOTING SCHEDULE				
MARK	SIZE	DEPTH	REINFORCING	REMARKS
F-1	18" x 18"	12"	(2) #6 CONT. @ BOTTOM	FAD
GB-1	2'-2" CONT.	1'-10"	(3) #5 T&B x #3 TIES @ 12" O.C. SEE SECTION DETAILS	GRADE BEAM
GB-2	1'-4" CONT.	1'-4"	(3) #5 T&B x #3 TIES @ 12" O.C. SEE SECTION DETAILS	GRADE BEAM
FC-1	2'-8" x 2'-8"	2'-6"	(3) #5 E.W. T&B SEE SECTION DETAILS	FILE CAP

FLOW-THRU OPENINGS NOTE:

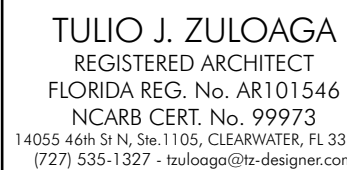
ENCLOSED AREA BELOW B.F.E. TO HAVE FLOW-THRU OPENINGS AT A RATE OF 1 SQ.IN. PER 1 SQ.FT.

GROUND LEVEL ENCLOSED AREA 2,326 SQ.FT.

SMARTVENT FLOOD VENT MODEL 1540-520 (INSULATED)

200 SQ.FT. / VENT - (12) 16" x 8" = GOOD FOR 2,400 SQ.FT.

SEE FOUNDATION & FIRST LEVEL FLOOR PLAN FOR LOCATIONS.



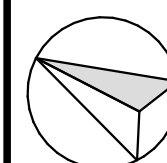
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J.W.B JOB No.: ET23-1053



A NEW RESIDENCE

ELLIS COASTAL
PROPERTIES 2

12455 6TH STE
TREASURE ISLAND
FLORIDA 33706

	02/19/24	SETBACKS
MARK	DATE	REVISION

DATE OF ISSUE: 01/10/24

PROJECT No.:	23-052
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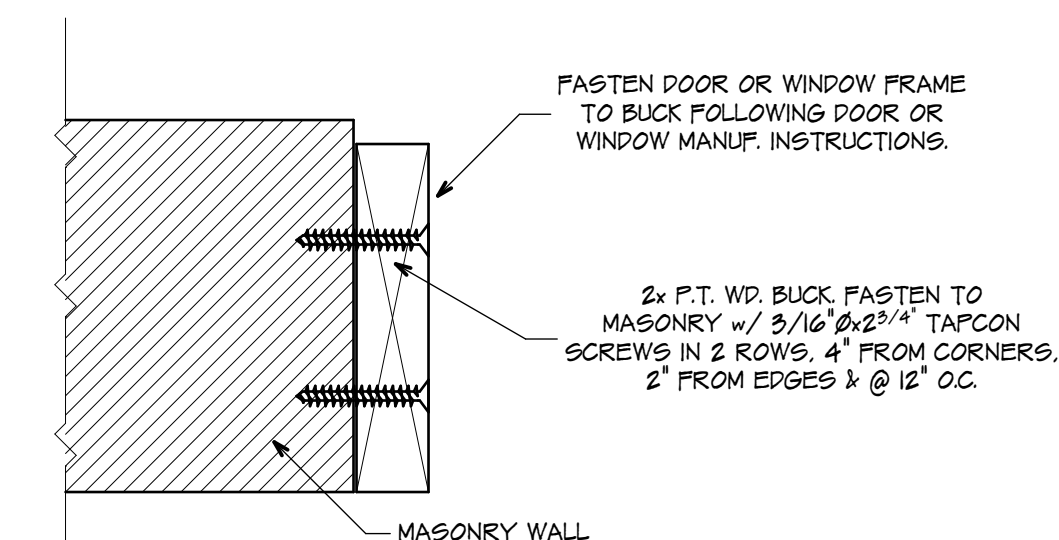
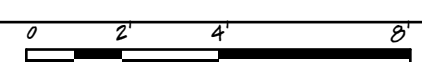
SHEET TITLE

GROUND LEVEL
LINTEL PLAN

S-1.3

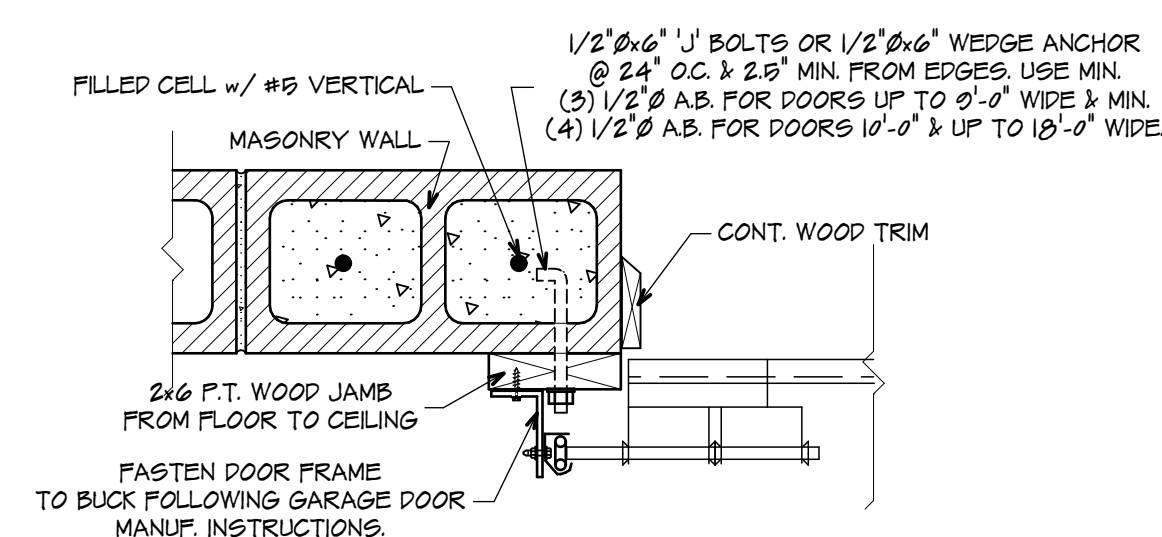
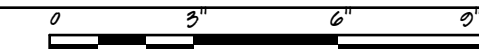


SCALE: $1/4'' = 1'-0''$



TYP. BUCK TO MAS. WALL DETAIL



SCALE: 3" = 1'-0"



GARAGE DOOR TRACK DETAIL

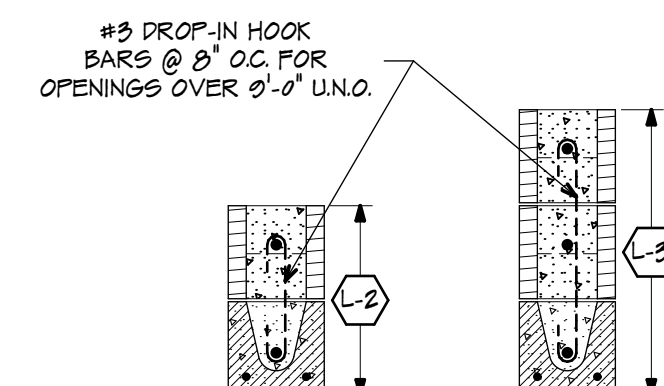
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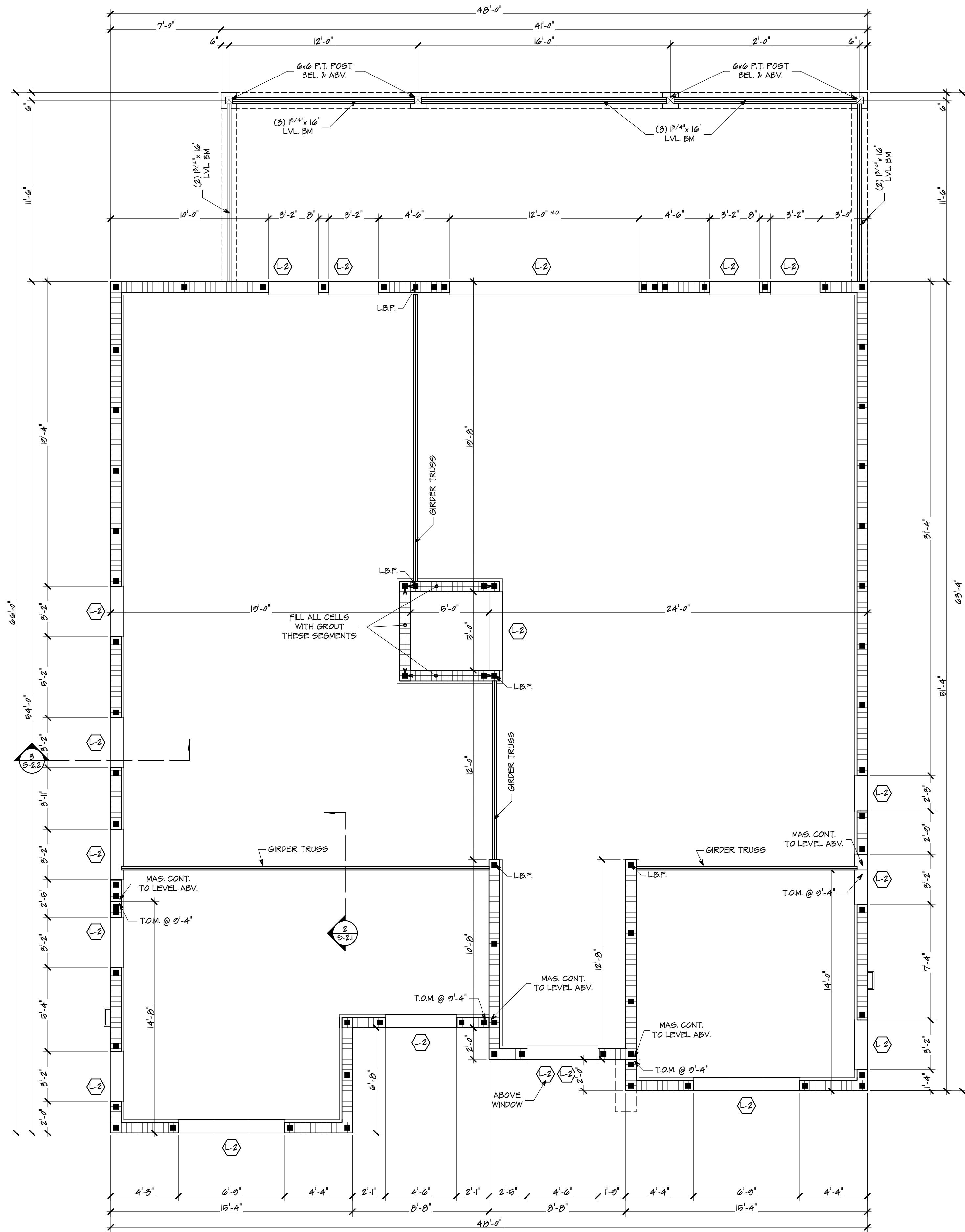
MASONRY NOTES:

- 1- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS SIZES REQUIRED BY WINDOWS & DOORS MANUFACTURERS PRIOR LOCATING #5 DOWELS.
- 2-  INDICATES REINFORCED CELL w/ (1) #5 TIED TO FOOTING, HOOK & LAP TO CONT. REINF. IN BOND BM. @ EA. SIDE OF OPN'GS, CORNERS, INTERSECTIONS, TRUSS GIRDER LOGS, & @ 48" O.C. MAX. OR WHERE INDICATED.
- 3-  INDICATES REINFORCED CELL w/ (1) #5 TIED TO FOOTING, 25" HOOK @ TOP TO LAP TO TOP OF KNEE WALL REINFORCING OR BENT OVER FLOOR SLAB & LAP 24" MIN. TO W.M. @ 72" O.C. MAX. OR WHERE INDICATED.

U-INTEL SCHEDULE		
ALL U-INTELS BY CAST-CRETE OR EQUAL		
MARK	MANUFACTURER DESIGNATION	REMARKS
(U-2)	2F16-1B/IT	(1) #5 B. (1)#5 CONT. K.O. BLK. COURSE ABOVE
(U-3)	2F24-1B/IT	(1) #5 B. (1)#5 CONT. EA. K.O. BLK. COURSE ABOVE

U-INTEL SUPPLIER TO SUBMIT LOAD TABLES FOR REVIEW.

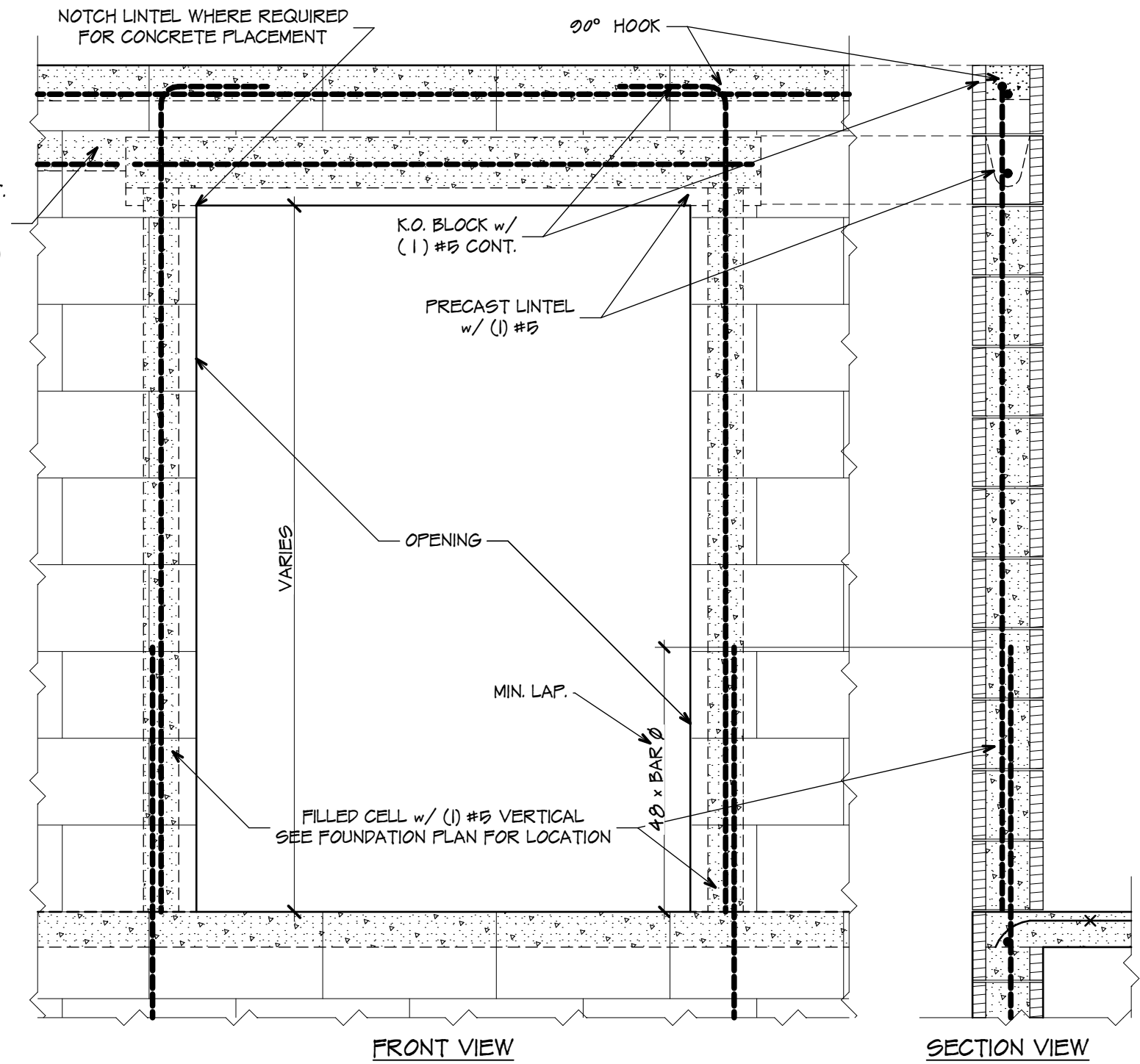




FIRST LEVEL LINTEL PLAN

SCALE: 1/4" = 1'-0"

K.O. BLOCK w/ (1) #5 CONT.
(WHEN LOADING ANOTHER
LEVEL FLOOR, WALLS &
ROOF STRUCTURE ABOVE)



- NOTES:
- 1- FILL LINTEL & CELLS ABOVE LINTEL.
 - 2- VERIFY THAT ALL REINFORCEMENT HAS BEEN PLACED PROPERLY.
 - 3- SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - 4- LINTELS OVER OPENINGS LESS THAN OR EQUAL TO 4'-0" IN WIDTH DO NOT REQUIRE ADDITIONAL STEEL REINFORCEMENT UNLESS NOTED OTHERWISE.

TYP. MAS. OPN'G. DETAILS

SCALE: 3/4" = 1'-0"

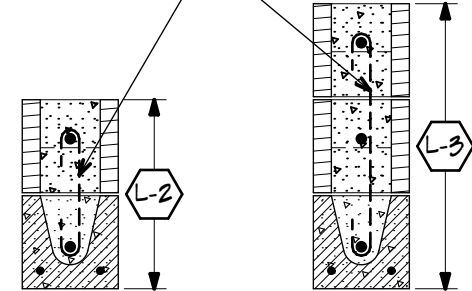
MASONRY NOTES:

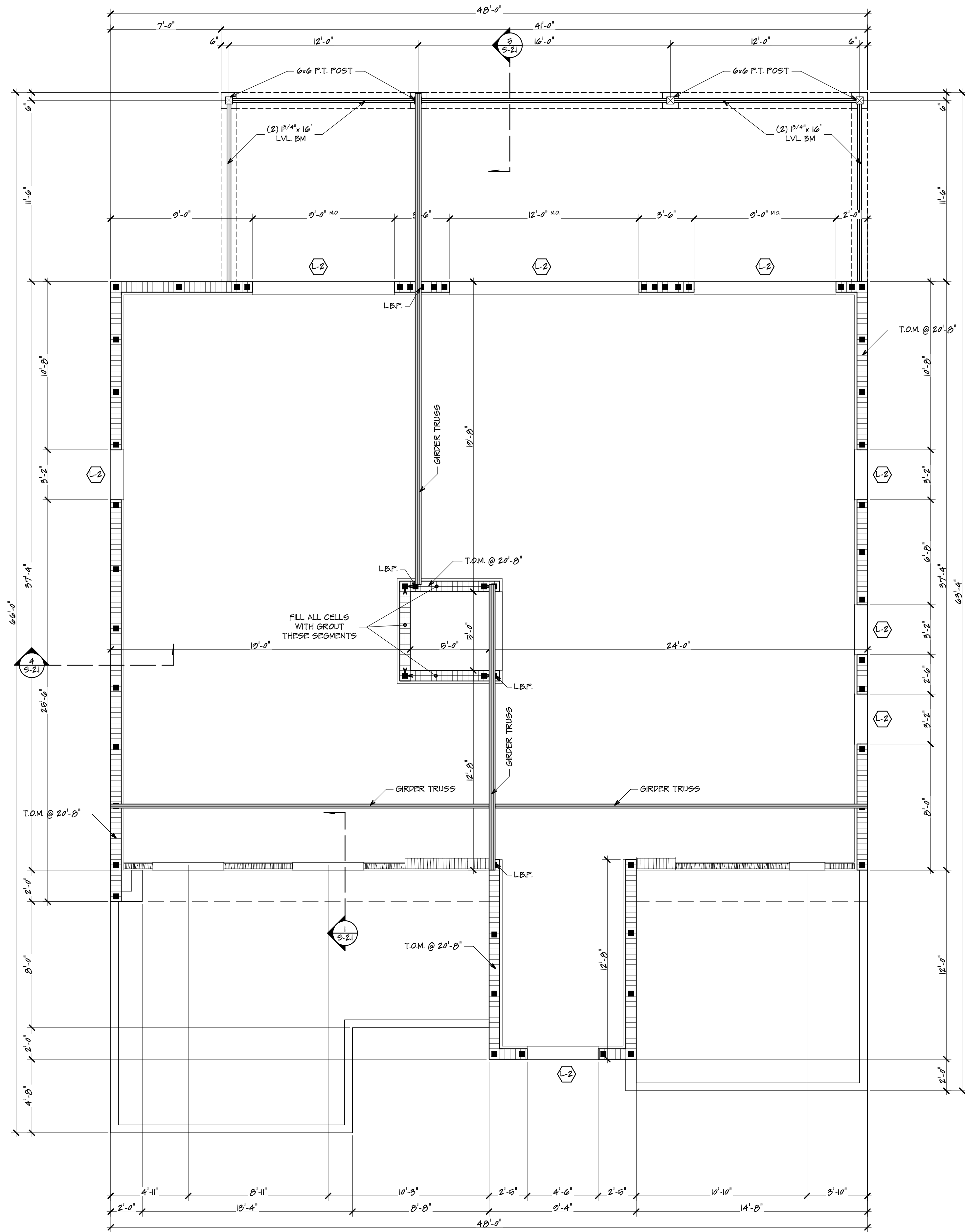
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- 2- [Symbol] INDICATES REINFORCED CELL w/ (1) #5 TIED TO FOOTING, HOOK & LAP TO CONT. REINF. IN BOND BM. @ EA. SIDE OF OPN'G's, CORNERS, INTERSECTIONS, TRUSS GIRDER LOC's, & @ 48" O.C. MAX. OR WHERE INDICATED.
- 3- [Symbol] INDICATES REINFORCED CELL w/ (1) #5 TIED TO FOOTING, 28" HOOK @ TOP TO LAP TO TOP OF KNEE WALL REINFORCING OR BENT OVER FLOOR SLAB & LAP 24" MIN. TO W.M. @ 72" O.C. MAX. OR WHERE INDICATED.

U-LINTEL SCHEDULE		
ALL LINTELS BY CAST-CRETE OR EQUAL		
MARK	MANUFACTURER DESIGNATION	REMARKS
(-2)	8F16-1B/1T	(1) #5 B. (1) #5 CONT. K.O. BLK. COURSE ABOVE
(-3)	8F24-1B/1T	(1) #5 B. (1) #5 CONT. EA. K.O. BLK. COURSE ABOVE

U-LINTEL SUPPLIER TO SUBMIT LOAD TABLES FOR REVIEW.

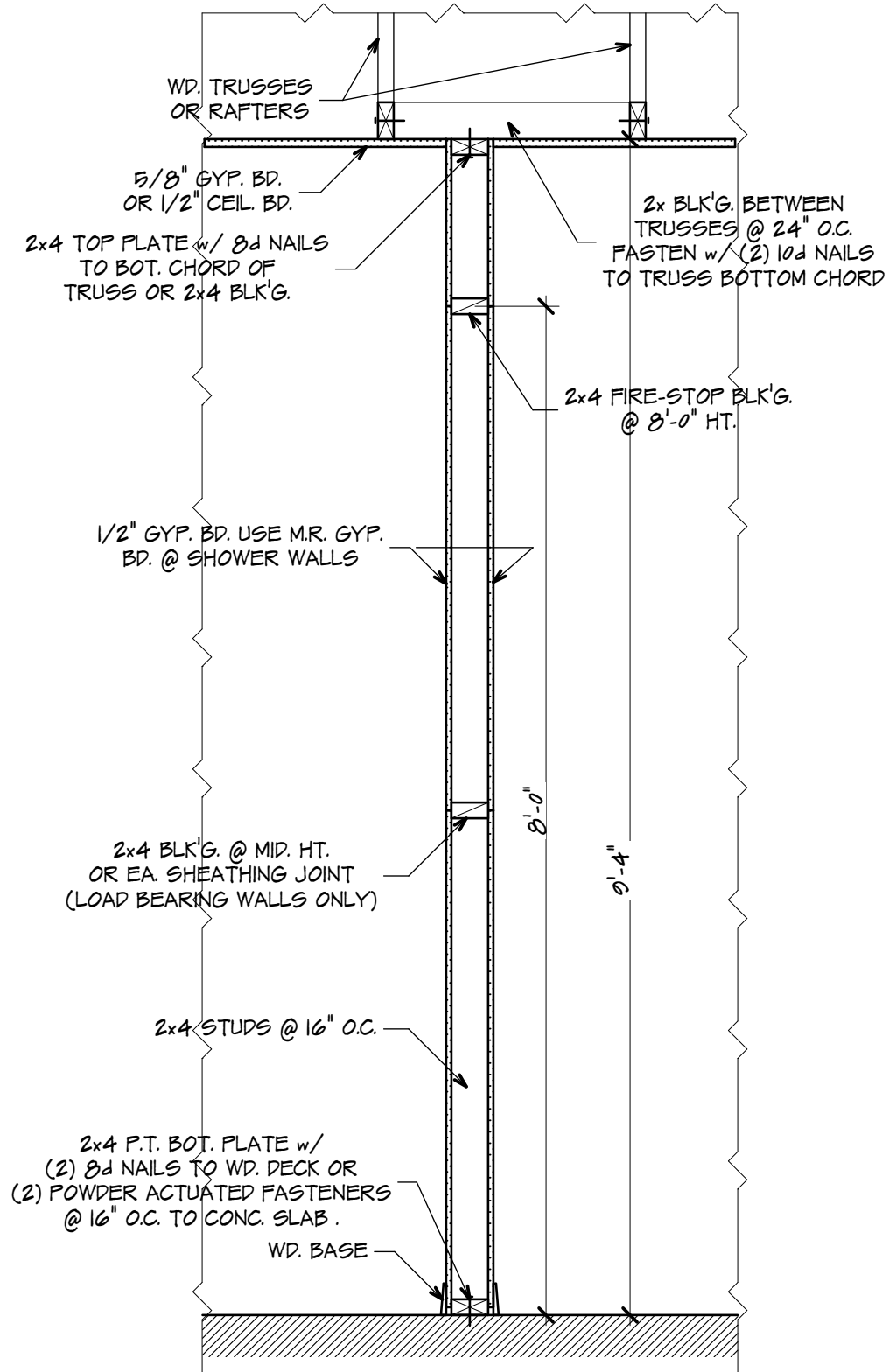
#5 DROP-IN HOOK
BARS @ 8" O.C. FOR
OPENINGS OVER 8'-0" UNO.





SECOND LEVEL LINTEL PLAN

SCALE: 1/4" = 1'-0"



INTERIOR PARTITION

SCALE: 3/4" = 1'-0"

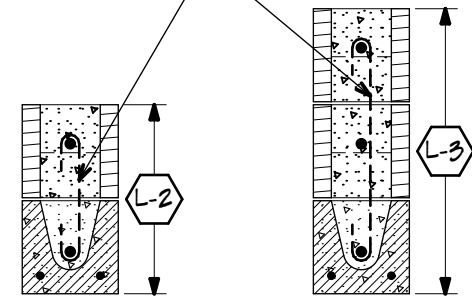
MASONRY NOTES:

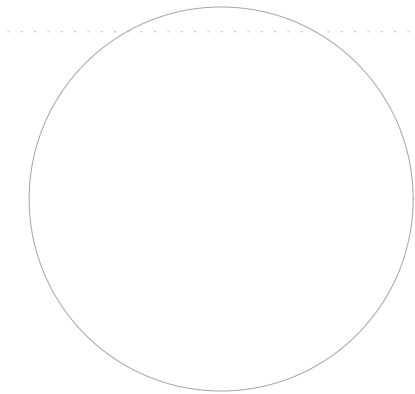
- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS SIZES REQUIRED BY WINDOWS & DOORS MANUFACTURERS. PRIOR LOCATING #5 DOWELS.
- INDICATES REINFORCED CELL w/ (1) #5 TIED TO FOOTING, HOOK & LAP TO CONT. REINF. IN BOND BM. @ EA. SIDE OF OPN'GS, CORNERS, INTERSECTIONS, TRUSS GIRDER LOCs., & @ 48" O.C. MAX. OR WHERE INDICATED.
- INDICATES REINFORCED CELL w/ (1) #5 TIED TO FOOTING, 28" HOOK @ TOP TO LAP TO TOP OF KNEE WALL REINFORCING OR BENT OVER FLOOR SLAB & LAP 24" MIN. TO W.M. @ 72" O.C. MAX. OR WHERE INDICATED.

U-LINTEL SCHEDULE		
ALL LINTELS BY CAST-CRETE OR EQUAL		
MARK	MANUFACTURER DESIGNATION	REMARKS
L-2	8F16-1B/1T	(1) #5 B. (1) #5 CONT. K.O. BLK. COURSE ABOVE
L-3	8F24-1B/1T	(1) #5 B. (1) #5 CONT. EA. K.O. BLK. COURSE ABOVE

U-LINTEL SUPPLIER TO SUBMIT LOAD TABLES FOR REVIEW.

#3 DROP-IN HOOK BARS @ 8" O.C. FOR OPENINGS OVER 8'-0" UNO.



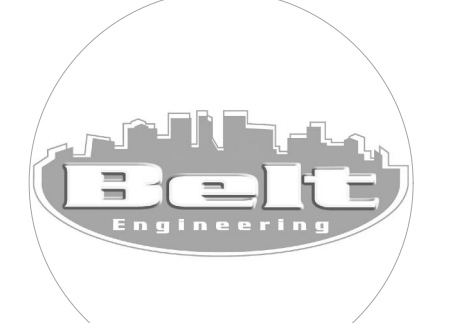


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CONSULTANTS
JOSEPH W. BELT, P.E.
CONSULTING STRUCTURAL ENGINEER
FLORIDA REG.# 45147 - CA # 29694
1503 A W Beach Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

J.W.B JOB No.: ET23-1053



A NEW RESIDENCE
ELLIS COASTAL PROPERTIES 2
12495 6TH ST E
TREASURE ISLAND
FLORIDA 33706

DATE	REVISION
02/10/24	SETBACKS

DATE OF ISSUE: 01/10/24
PROJECT No.: 23-082
DRAWN BY: DP/VC
CHECKED BY: T.J.Z.

SHEET TITLE
FLOOR & ROOF FRAMING PLAN

S-1.7

FLOOR & ROOF TRUSSES NOTES:

- 1- THE NOTED POST &/OR COLUMN SIZES, DETAILS & CONNECTORS ARE SUBJECT TO CHANGE UPON COORDINATION w/ TRUSS MANUFACTURER'S FLOOR & ROOF TRUSSES LAYOUTS AND REACTIONS REPORTS. THE ARCHITECT IS NOT RESPONSIBLE FOR RELATED WORK PERFORMED PRIOR UPPER STRUCTURE REPORTS ISSUANCE & COORDINATION.
- 2- FOR LVL BEAMS, TRUSSES & GIRDER CONNECTIONS TO WALLS NOT INDICATED IN THIS PLAN, REFER TO TRUSS ANCHOR SCHEDULE & TRUSS GIRDER TIE-DOWN SCHEDULE, ON THIS SHEET.
- 3- TRUSS MANUFACTURER TO PROVIDE VERTICAL WEB MEMBERS AT ALL INTERMEDIATE GIRDER TRUSSES BEARINGS FOR CONNECTORS FASTENERS.
- 4- RIGID CEILING @ TRUSS BOTTOM CHORDS. TRUSS MANUFACTURER TO SPECIFY BOTTOM CHORD TRUSS BRACING MEMBERS, LOCATIONS AND CONNECTIONS AS REQUIRED.
- 5- ALL TRUSS ENGINEERING, PLACEMENT, DIMENSIONS, SIZE OF MEMBERS AND TRUSS-TO-TRUSS CONNECTIONS TO BE DETERMINED BY TRUSS MANUFACTURER. SUBMIT CUT SHEETS OF CONNECTION HARDWARE FOR STRUCTURAL REVIEW PRIOR FABRICATION.
- 6- IF FINAL TRUSS LAYOUT DIFFERS FROM THE PRELIMINARY LAYOUT, PROVIDE ARCHITECT WITH REVISED LAYOUT FOR SUPERSTRUCTURE REDESIGN.

MASONRY - TRUSS ANCHOR

BY "SIMPSON" OR EQUAL

MODEL NUMBER	SEAT NAILS	STRAP NAILS	UPLIFT (LB.)
HETA 12	N/A	(5) 10d x 1 1/2"	<745
HETA 16	N/A	(10) 10d x 1 1/2"	<1365
HETA 20	N/A	(15) 10d x 1 1/2"	<1800

MASONRY - TRUSS GIRDER TIEDOWN

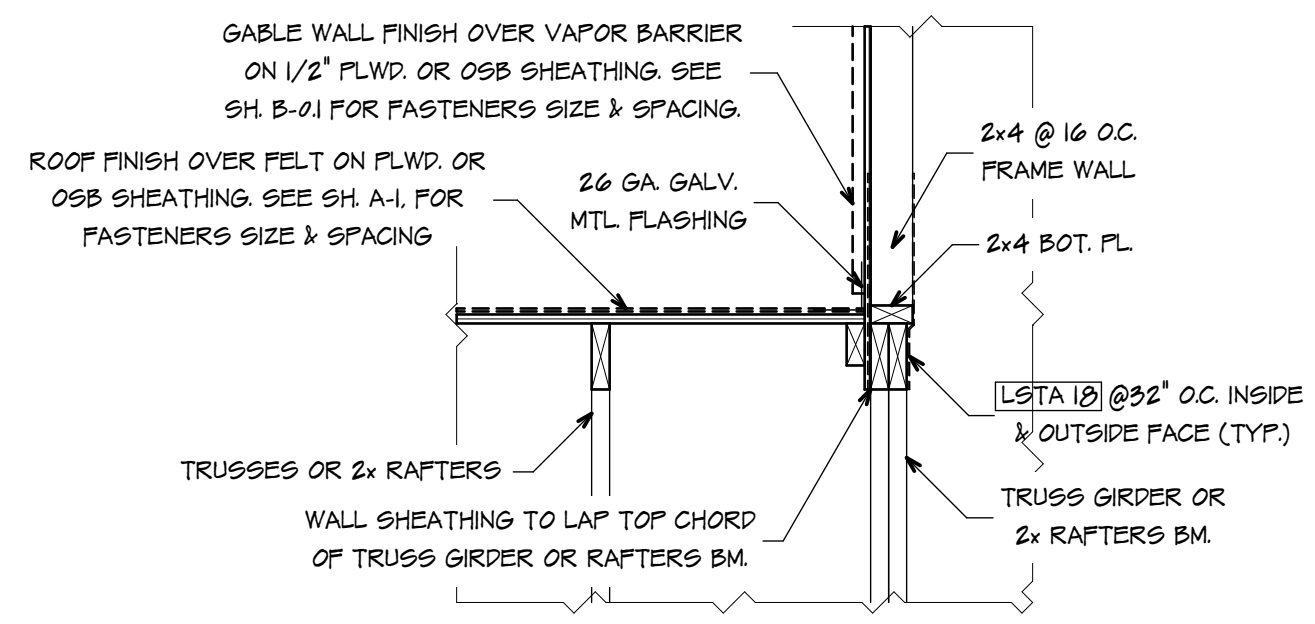
BY "SIMPSON" OR EQUAL

# OF TRUSS FLIES	MODEL	ANCHOR BOLTS	UPLIFT (LB.)
1	MGT	(1) 5/8" Ø	<3,965
2	HGT-2	(2) 3/4" Ø	<10,980
3	HGT-3	(2) 3/4" Ø	<10,930
4	HGT-4	(2) 3/4" Ø	<9,250

WD. FRAME - TRUSS & GIRDER TIE-DOWN

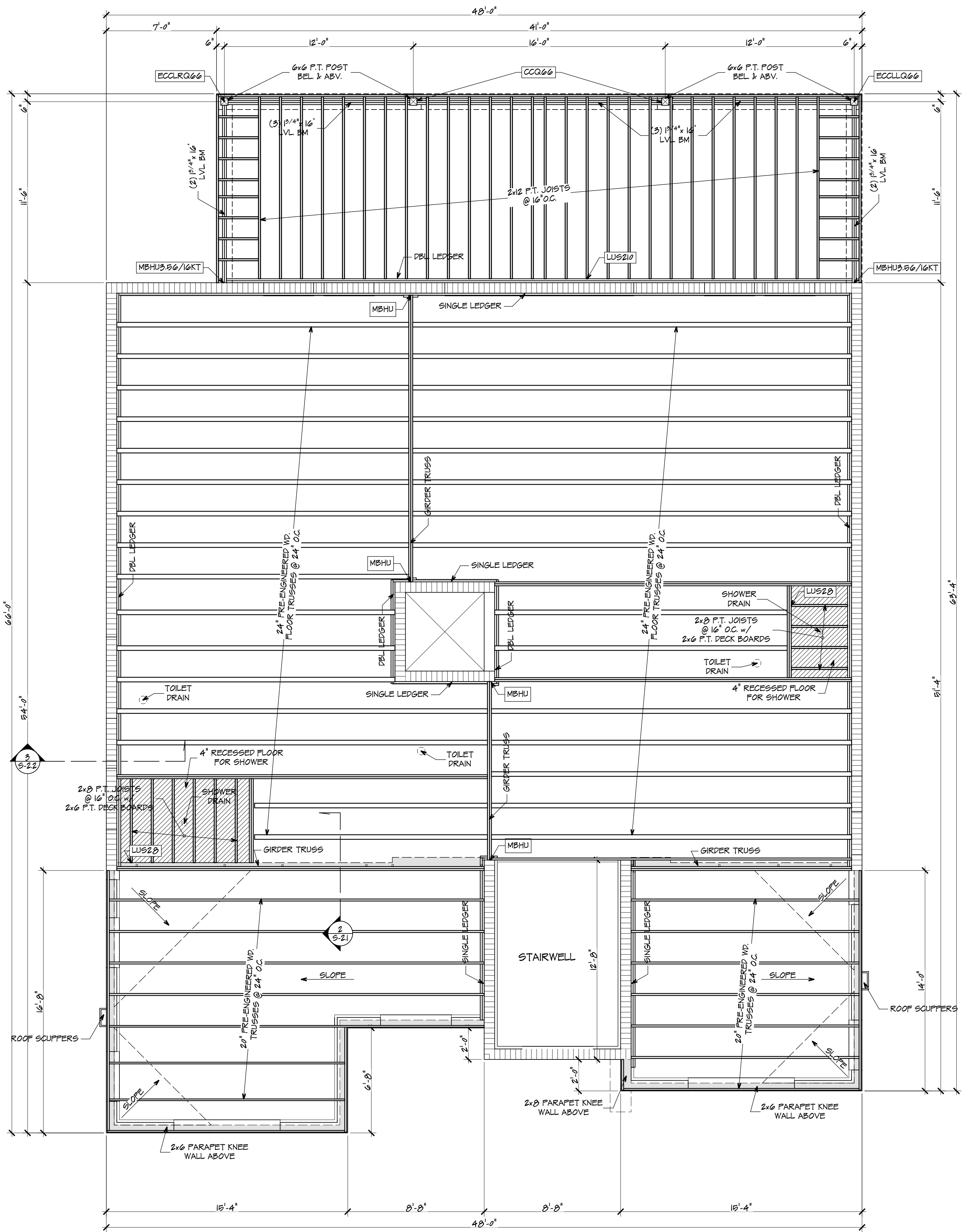
BY "SIMPSON" OR EQUAL

# OF FLIES	MODEL NUMBER	FASTENERS	UPLIFT (LB.)
1 TRUSS	H 1	PER SPEC	< 400
	H 10A	PER SPEC	< 1,015
	H 14	PER SPEC	< 1,050
GIRDER TRUSS	2 H 10A-2	PER SPEC	< 655
	2 H 16-2	PER SPEC	< 1,470
	2 LGT2	PER SPEC	< 2,050
	2 MGT w/HDU5	PER SPEC	< 3,965
	2 HGT-2 w/(2)HTT5	PER SPEC	< 10,980
	3 HGT-3 w/(2)HTT5	PER SPEC	< 10,930
	4 HGT-4 w/(2)HTT5	PER SPEC	< 9,250



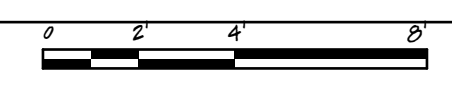
SIDE FLASHING DETAIL

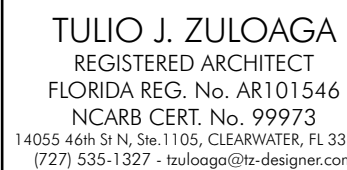
SCALE: 3/4" = 1'-0"



FLOOR & ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"





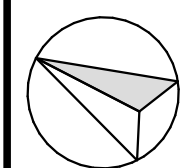
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JOSEPH W. BELT, P.E.
CONSULTING STRUCTURAL ENGINEER
FLORIDA REG.# 45147 - CA # 29694
1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031


J.W.B JOB No.: ET23-1053



A NEW RESIDENCE

ELLIS COASTAL
PROPERTIES 2

12455 6TH ST E
TREASURE ISLAND
FLORIDA 33706

	02/10/24	SETBACKS
MARK	DATE	REVISION

DATE OF ISSUE: 01/19/24

PROJECT No.:	23-052
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DRAWN BY: D.P./ V.C

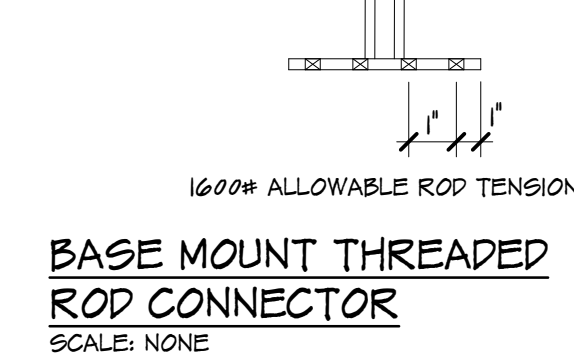
CHECKED BY: T.J.Z

SHEET TITLE

ROOF FRAMING

PLAN

S-1.8



SIMPSON STRONG-TIE

PRODUCT APPROVAL

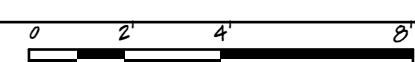
PRODUCT	APP. NUMBER
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A35	FL 104461
ABA44	FL 108602
ABU98Z	FL 108602
ATS SYSTEM	FL 10007
CCQ44	FL 1086010
CCQ66	FL 1086010
ECCLQ(L&R)464	FL 1086010
ECCLQ(L&R)66	FL 1086010
H 1	FL 104567
H 10A	FL 104567
H 10A-2	FL 1044616
H 14	FL 1044616
H 16-2	FL 104567
H3	FL 104567
HDU5	FL 104414
HETA 12	FL 114734
HETA 16	FL 114734
HETA20	FL 114734
HGT2	FL 104568
HGT3	FL 104568
HGT4	FL 104568
HU28-2	FL 105310
LG2	FL 114738
LSTA 18	FL 1045615
LSTA 21	FL 1045615
LSTA24	FL 1045615
LSTA30	FL 1045615
LSTA36	FL 1045615
LUS28	FL 105317
LUS210	FL 105317
MGT	FL 1045621
MBHU3566//1125KT	FL 130046
MBHU3566//16KT	FL 130046

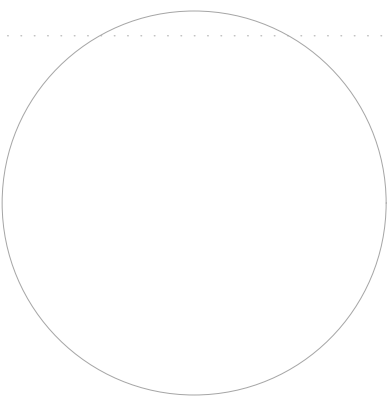
TIE-DOWN SYSTEM NOTES:

- 1- RECOMMENDED TIE-DOWN SYSTEM TO BE $\emptyset 1/2"$ CONTINUOUS THREADED ROD SYSTEM TO ANCHOR WOOD STUD WALLS, WOOD FLOOR & ROOF FRAMING, TO MASONRY & FOUNDATION.
- 2.- CONNECTION TO MASONRY OR CONCRETE: SET THREADED DOWEL w/ WASHER & NUT MIN. 6" INTO K.O. BLK OR CONCRETE BEAM, BEFORE POURING. FOR RETROFIT APPLICATIONS, DRILL 6" & EMBED THREADED DOWEL w/ EPOXY.
- 3.- ♦ INDICATES TIE-DOWN LOCATION FROM MASONRY TO TOP PLATE OF WOOD FRAME WALL.
- 4.- ◇ INDICATES TIE-DOWN LOCATION FROM BEAM, GIRDER OR TRUSS TO TOP PLATE OF WOOD FRAME WALL.
- 5.- (1) THREADED ROD @ EA. CORNER, @ EACH END OF WALL SEGMENT, @ EA. END OF OPENINGS 6'-0" OR WIDER & @ 6'-0" O.C. THROUGH WALL SEGMENTS.

ROOF FRAMING PLAN

SCALE: $1/4'' = 1'-0''$





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JOSEPH W. BELT, P.E.
CONSULTING STRUCTURAL ENGINEER
FLORIDA REG.# 45147 - CA # 29694
1503 A W Beach Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031
J.W.B JOB No.: ET23-1053



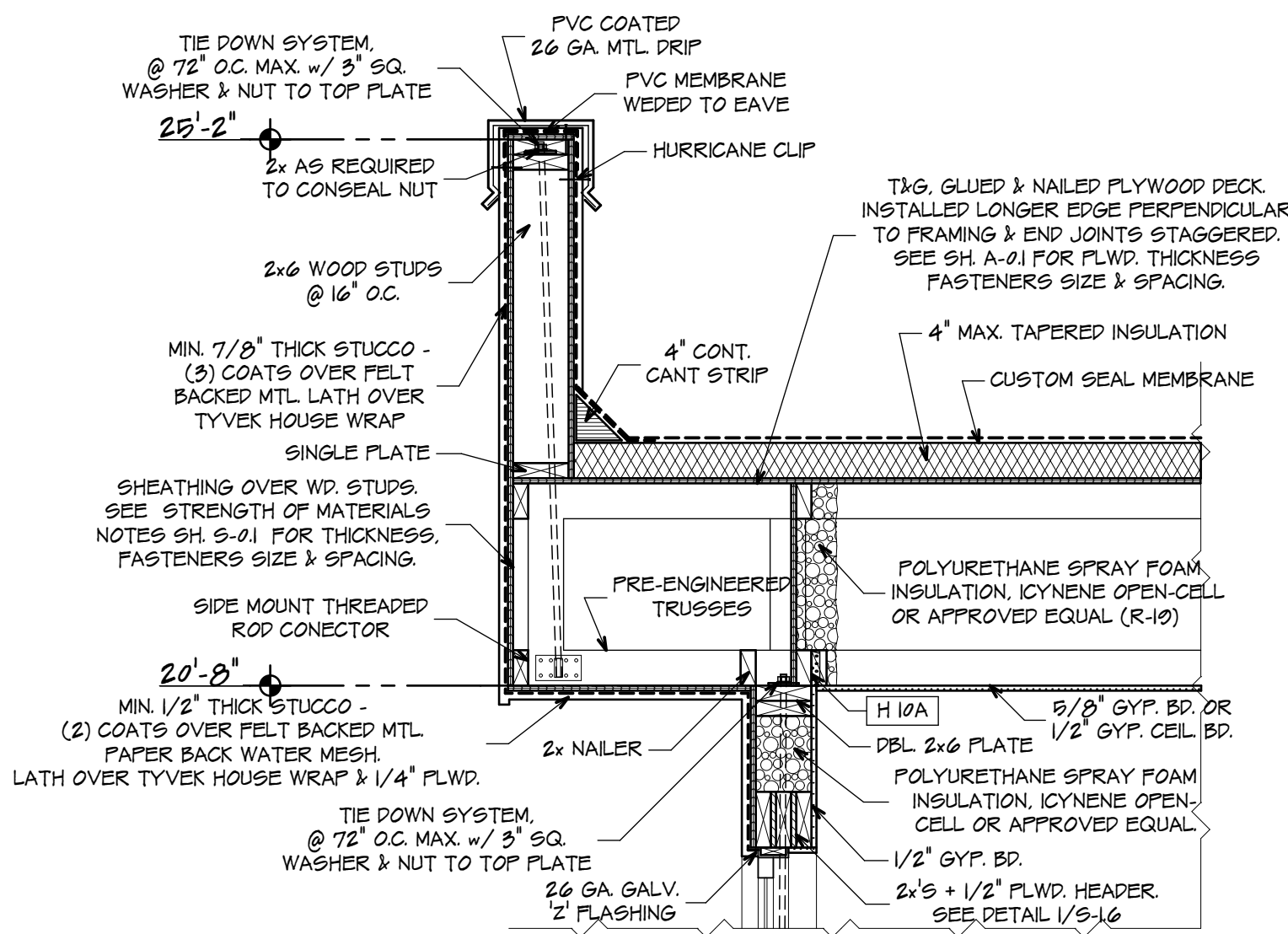
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ELLIS COASTAL PROPERTIES 2
12495 6TH ST E
TREASURE ISLAND
FLORIDA 33706

02/10/24 SETBACKS
MARK DATE REVISION

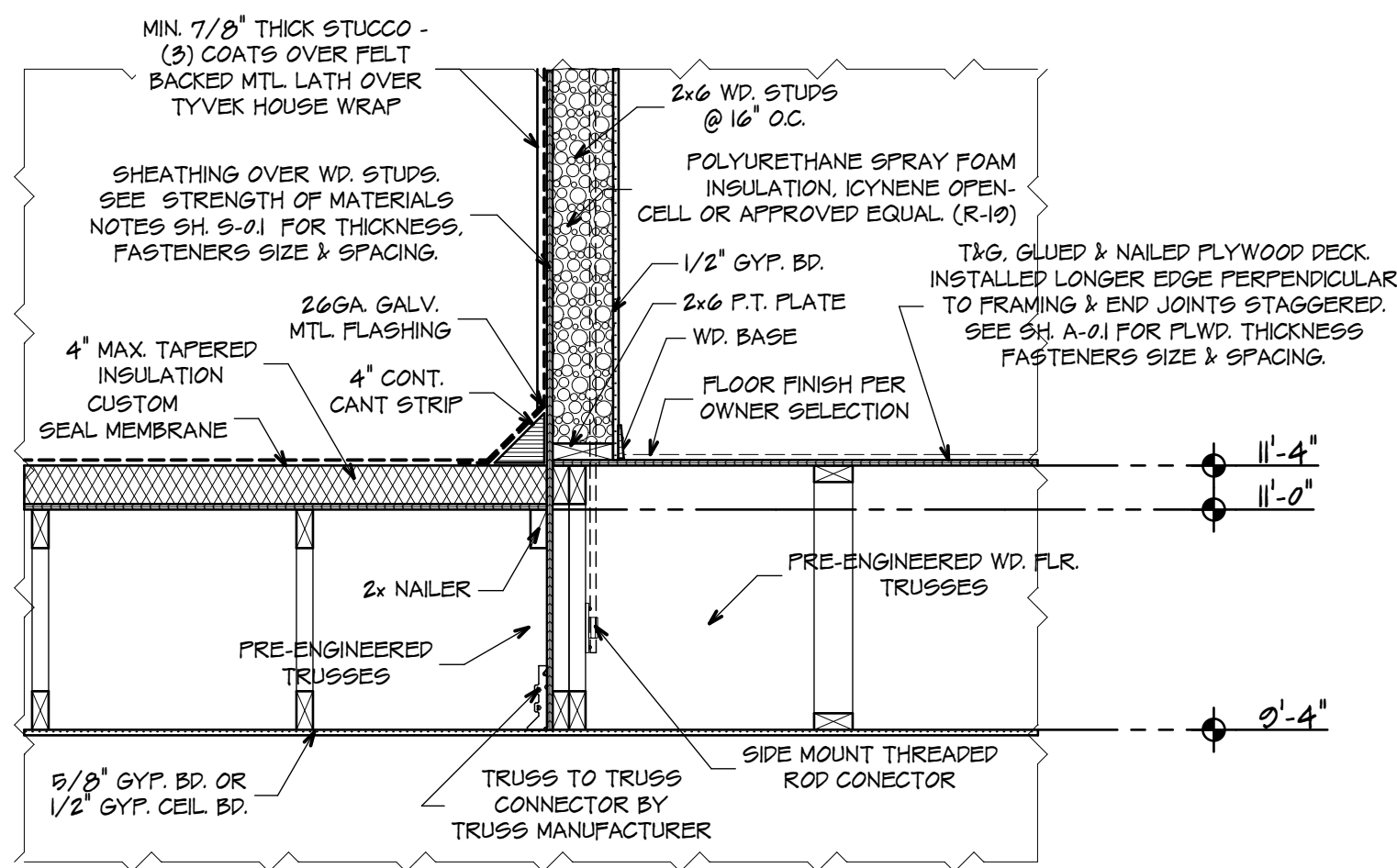
DATE OF ISSUE: 01/10/24
PROJECT No.: 23-082
DRAWN BY: DP/VJ
CHECKED BY: T.J.Z.

SHEET TITLE
WALL SECTIONS & DETAILS

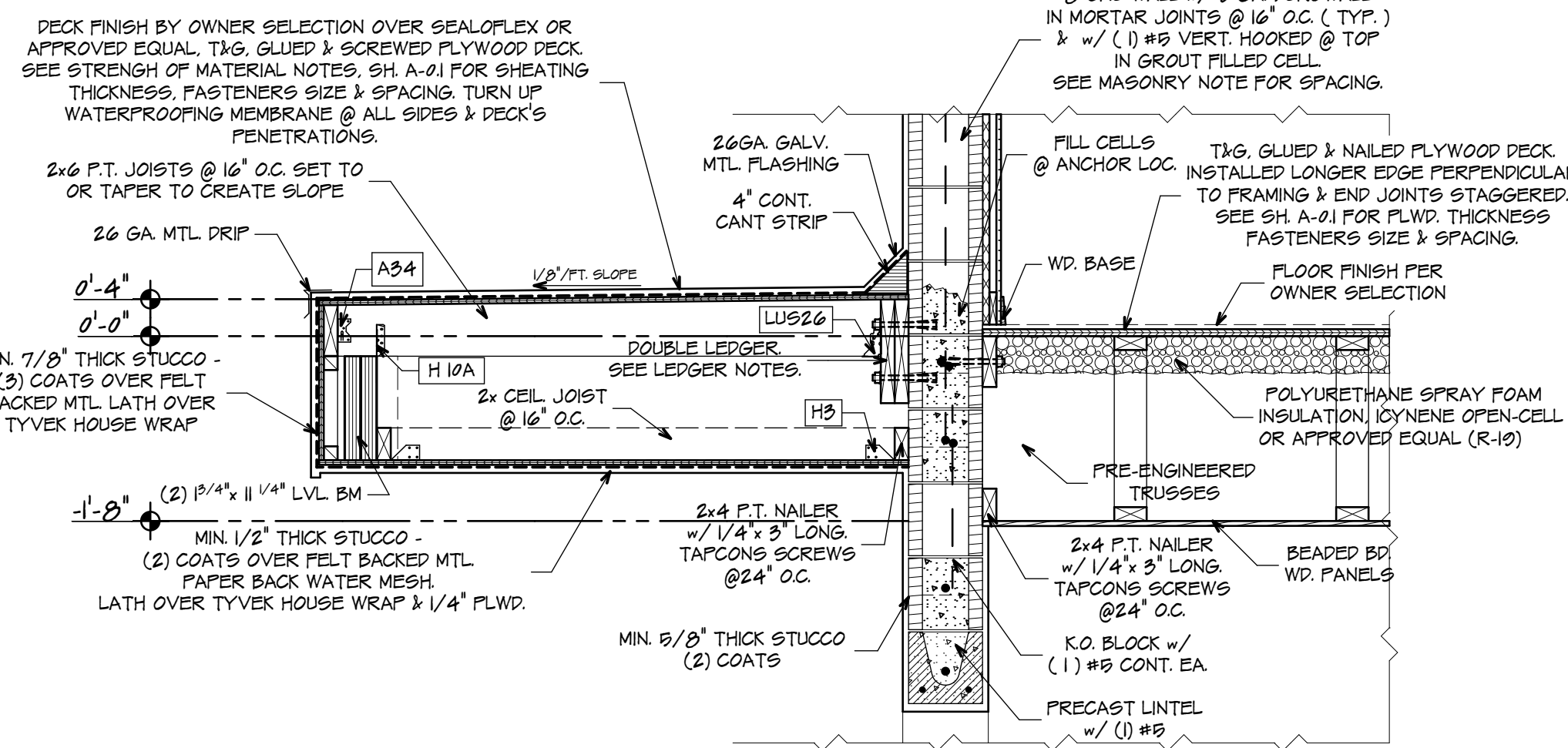
S-2.1



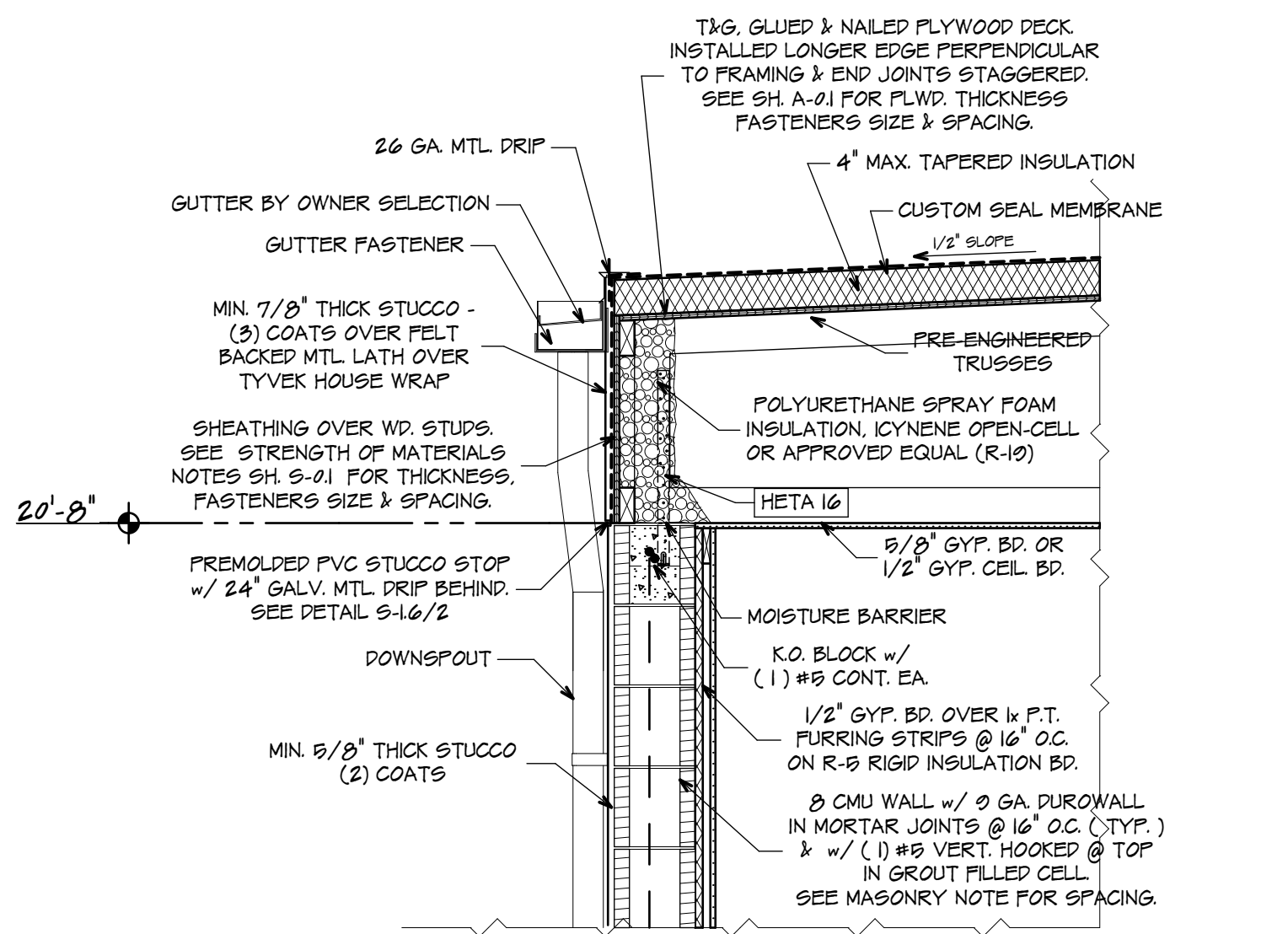
1 ROOF SECTION
SCALE: 3/4" = 1'-0"
0 1 2 3



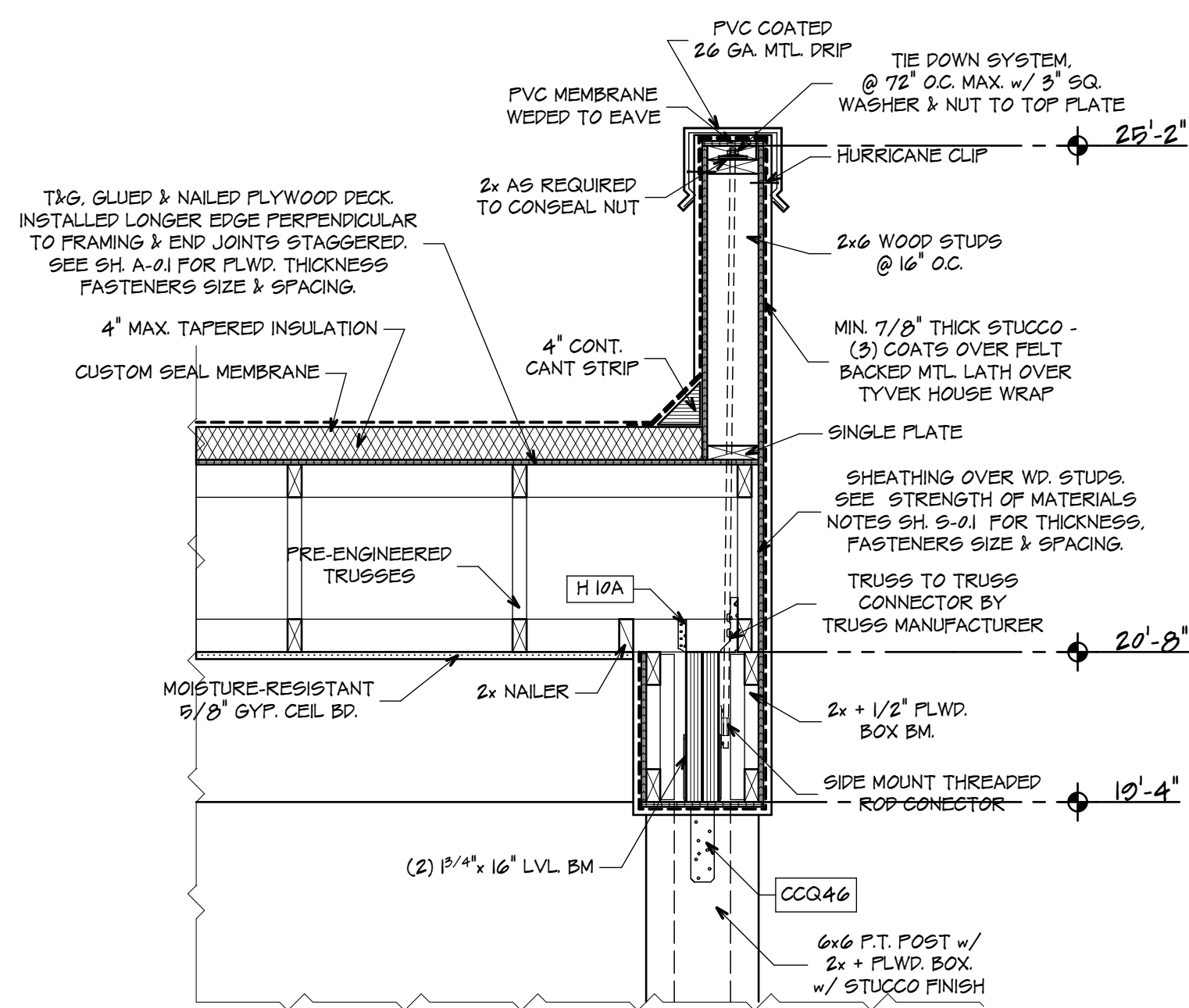
2 ROOF SECTION
SCALE: 3/4" = 1'-0"
0 1 2 3



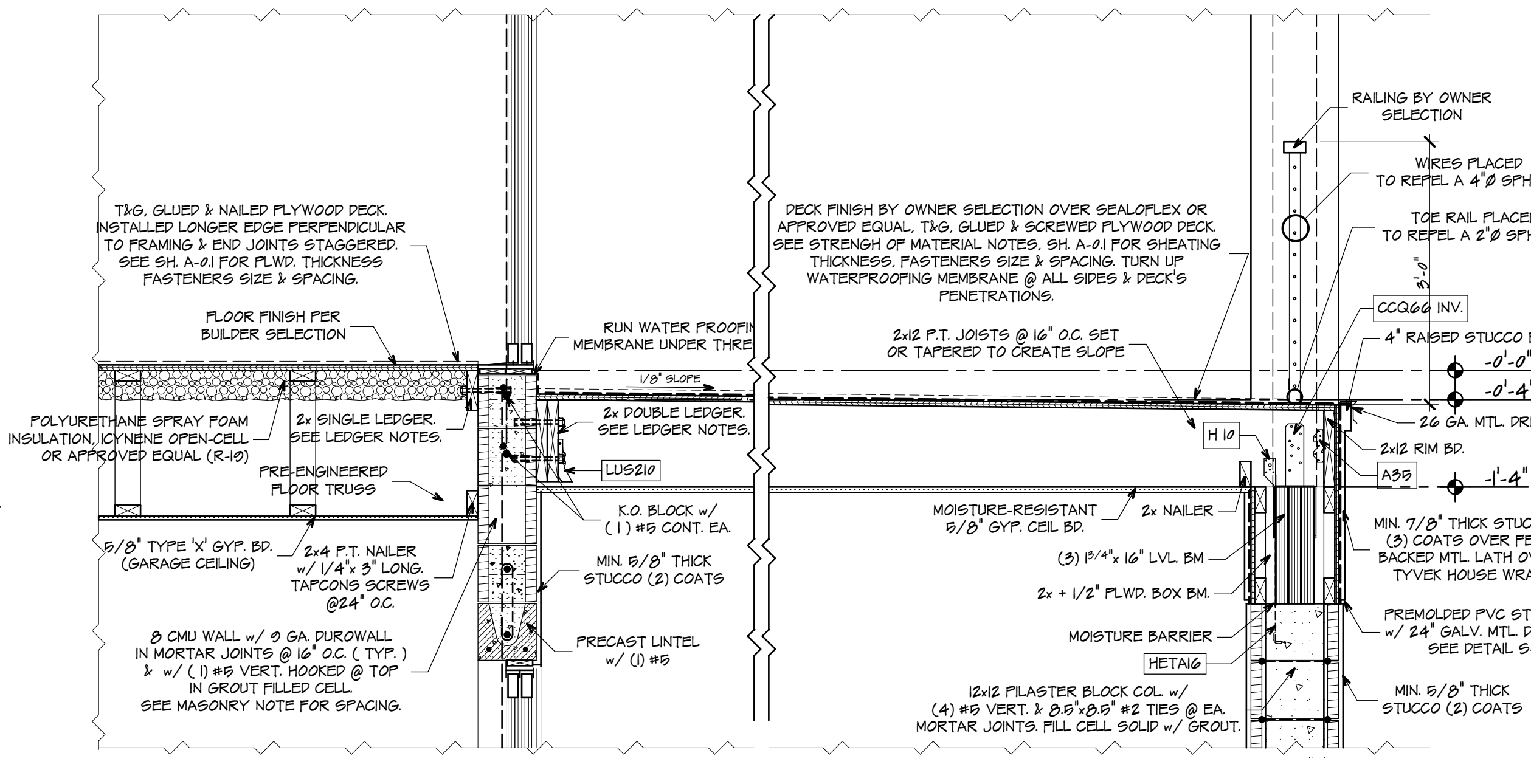
3 SECTION
SCALE: 3/4" = 1'-0"
0 1 2 3



4 ROOF SECTION
SCALE: 3/4" = 1'-0"
0 1 2 3



5 ROOF SECTION
SCALE: 3/4" = 1'-0"
0 1 2 3



6 LANAI SECTION
SCALE: 3/4" = 1'-0"
0 1 2 3



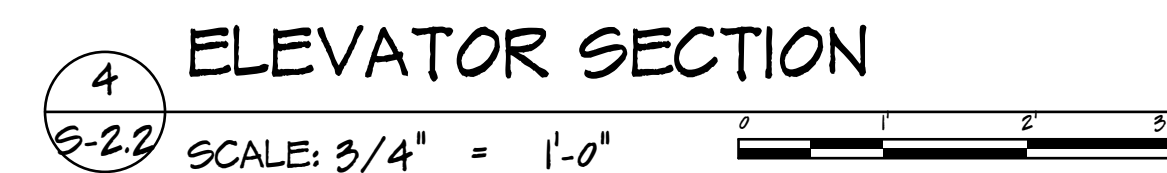
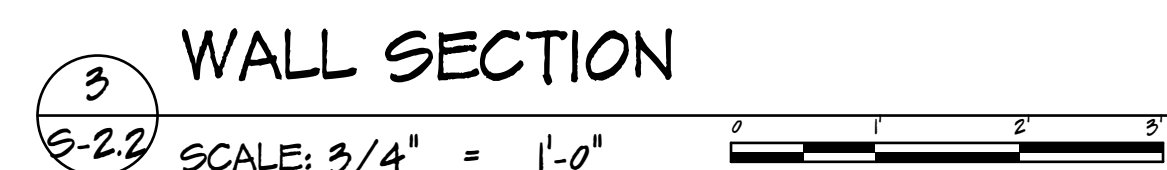
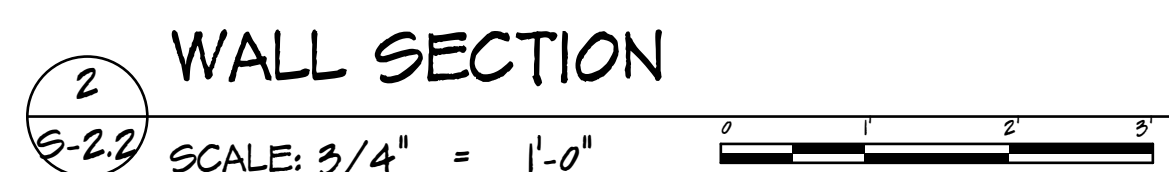
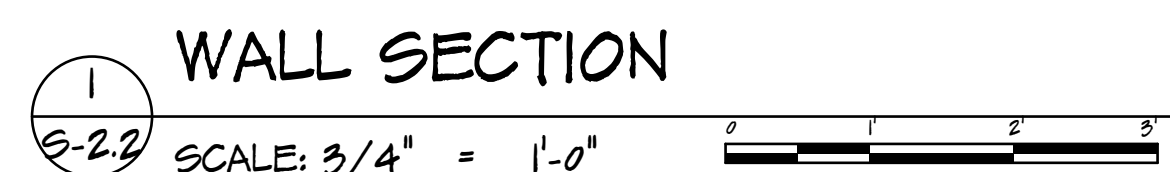
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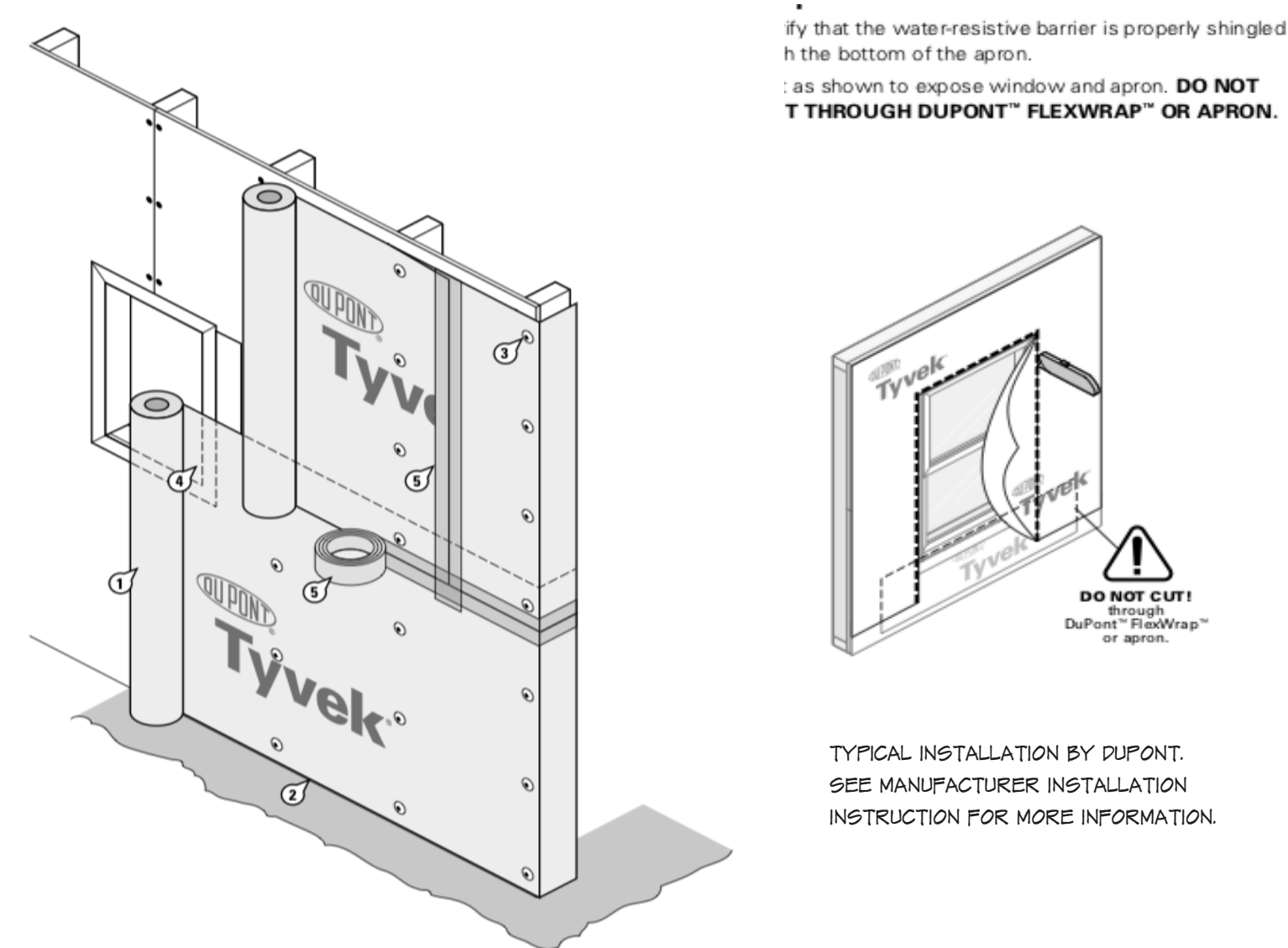
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FLORIDA REG.# 45147 - CA # 29694
1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

2455 6TH ST E
TREASURE ISLAND
E OIDA 33501

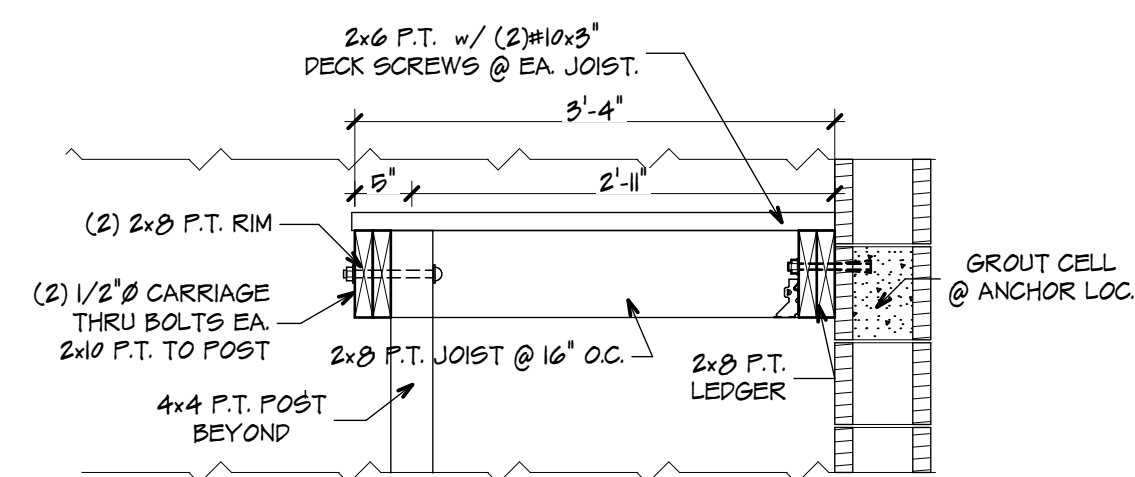
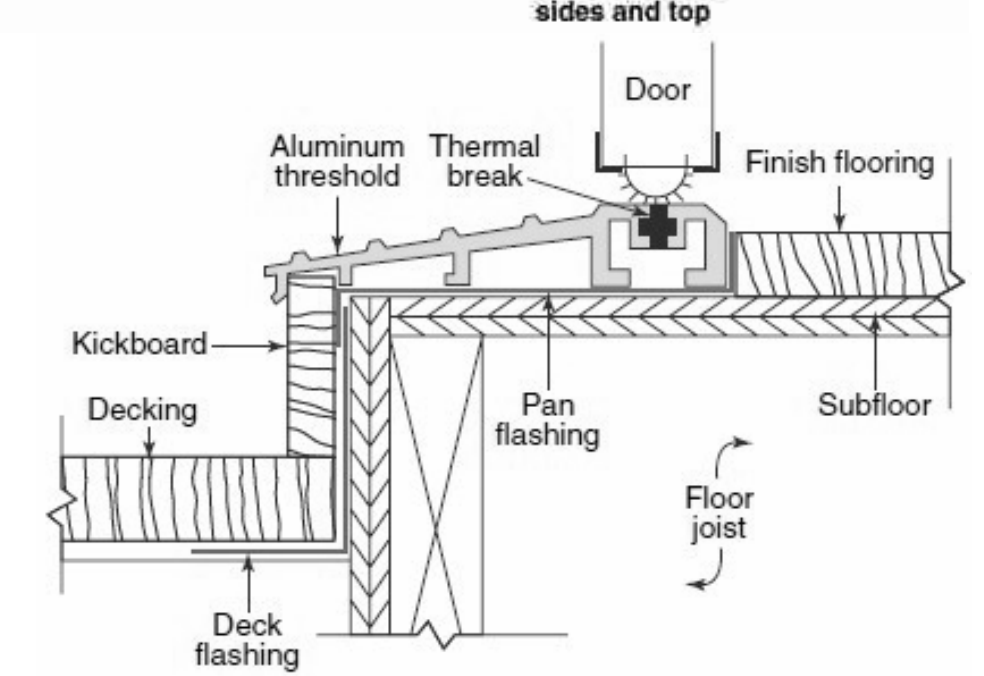
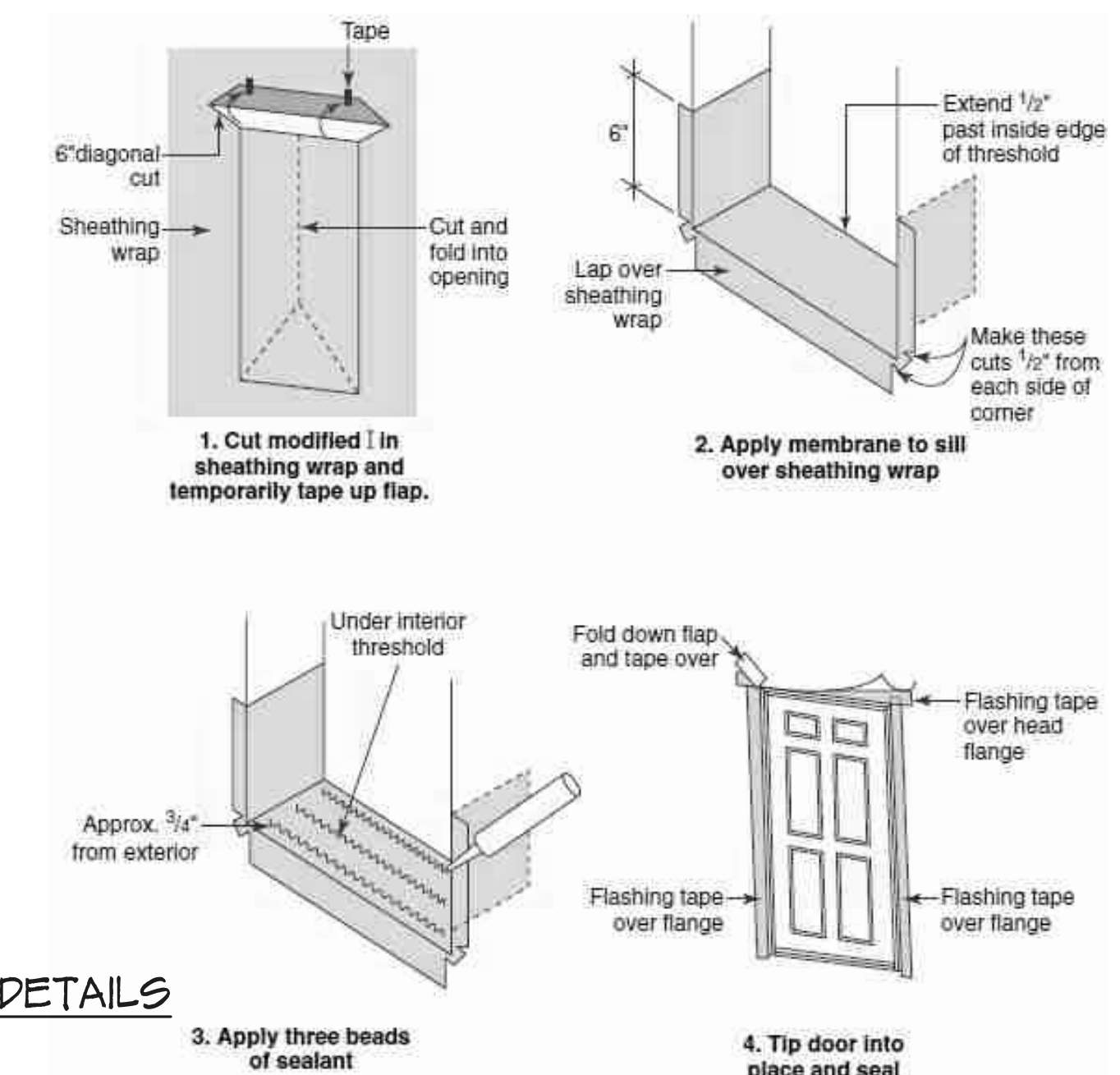
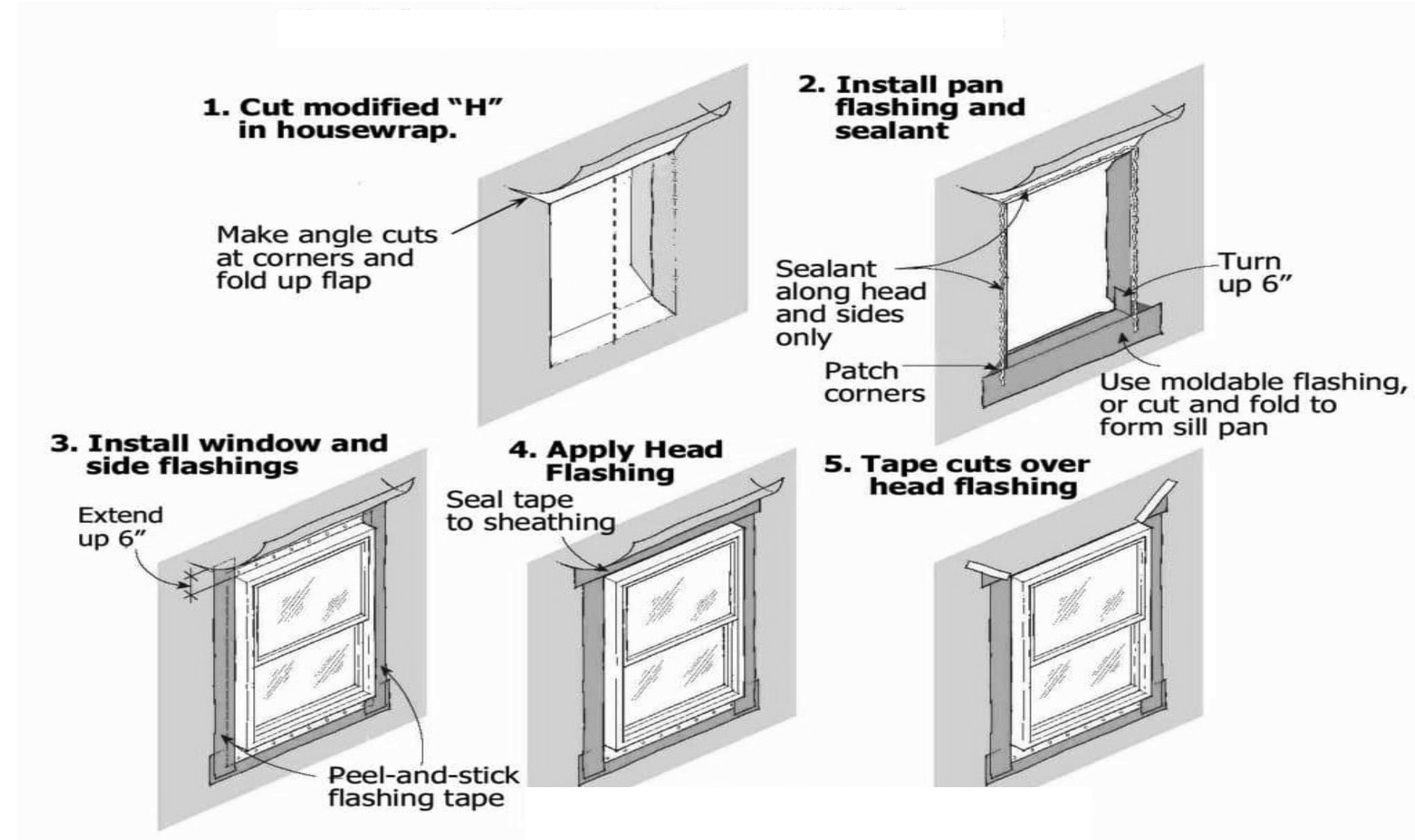
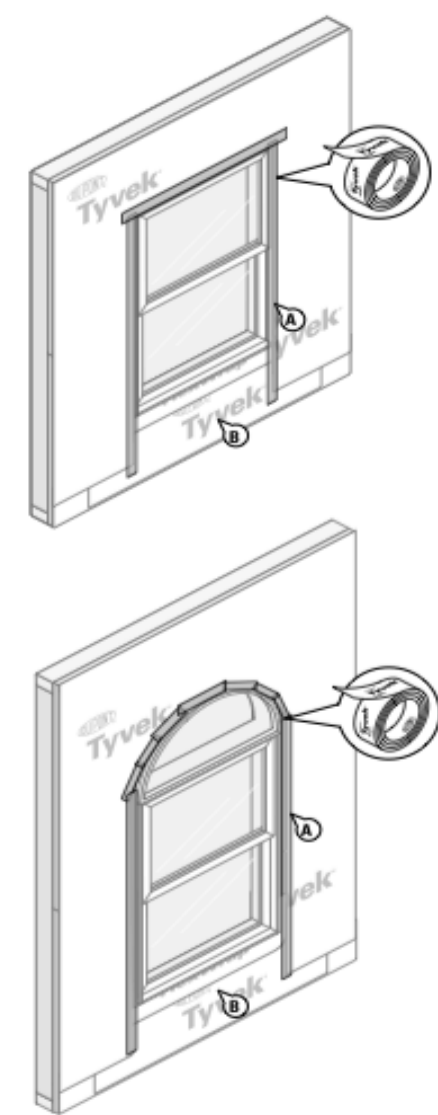
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MARK	DATE	REVISION	
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PROJECT No.:		23-086	
DRAWN BY:		D.P./ V.O.	
CHECKED BY:		T.J.Z	
SHEET TITLE			

S-2.2



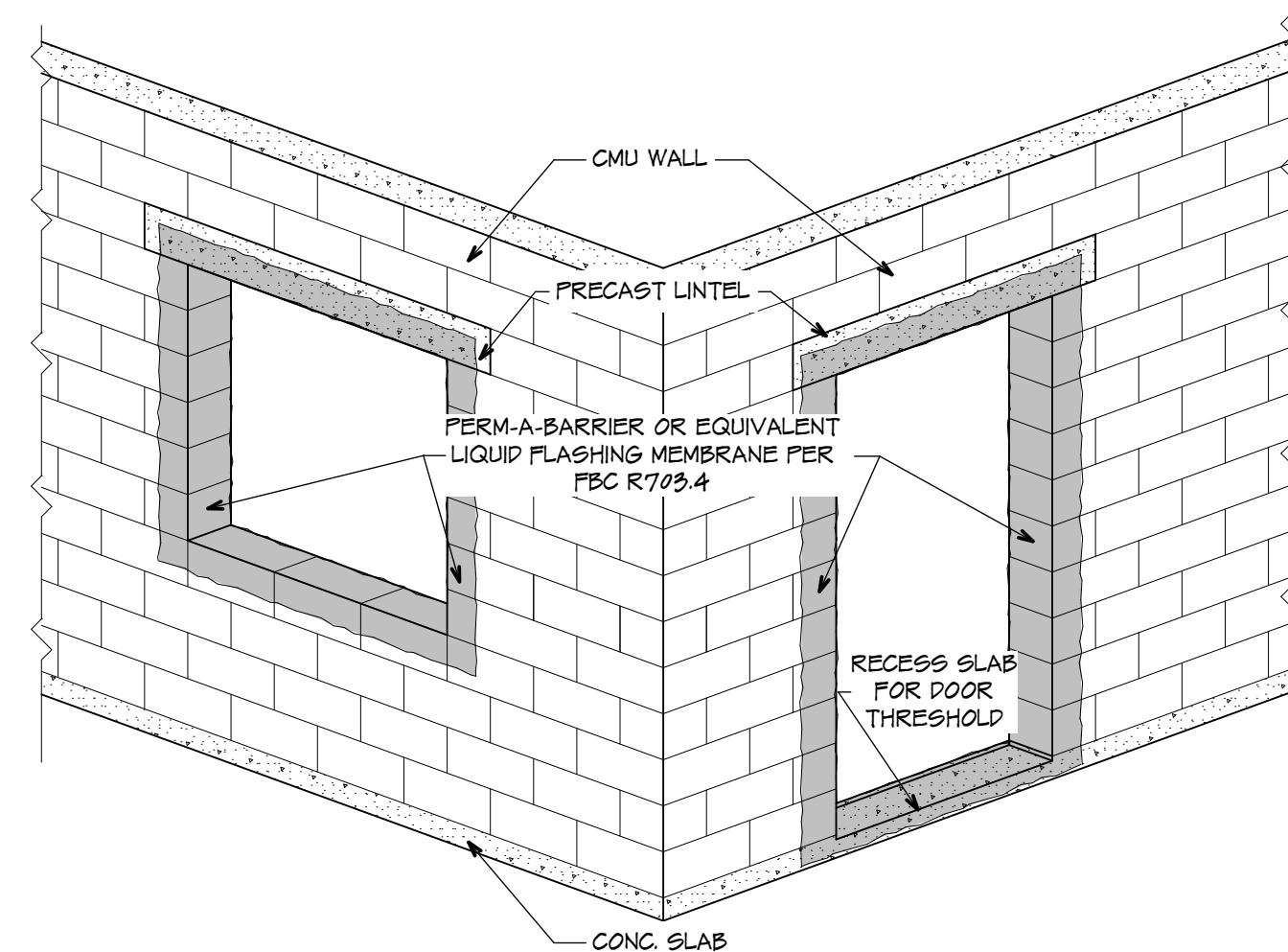
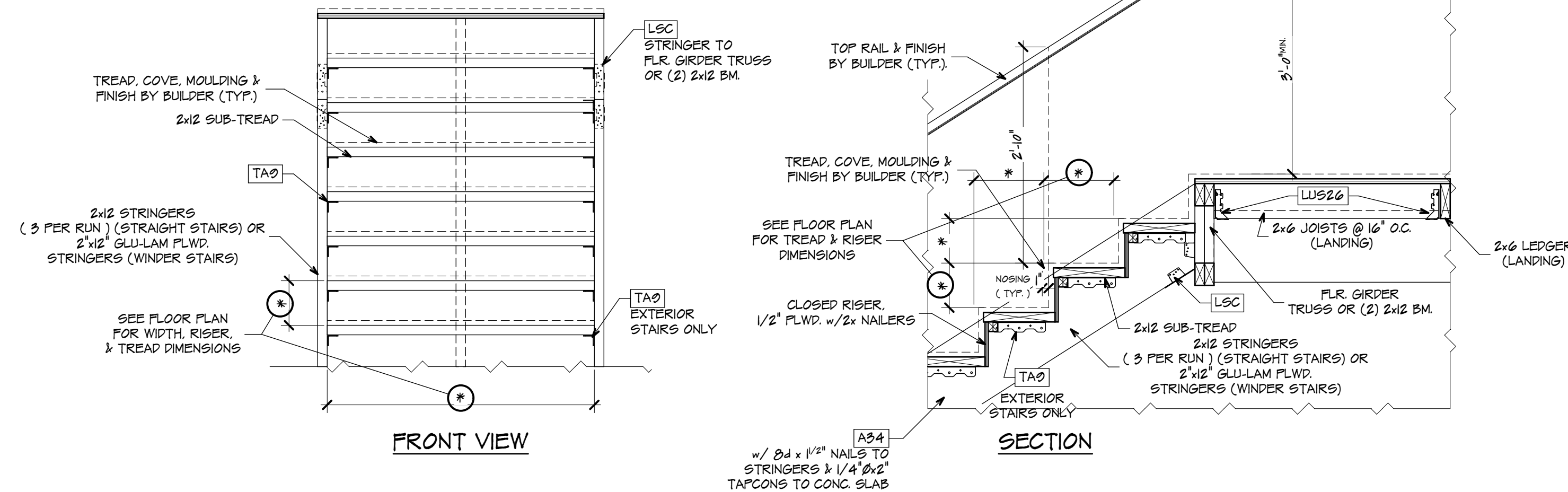
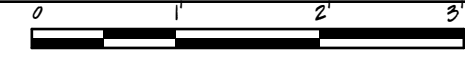


TYVEK INSTALLATION DETAIL



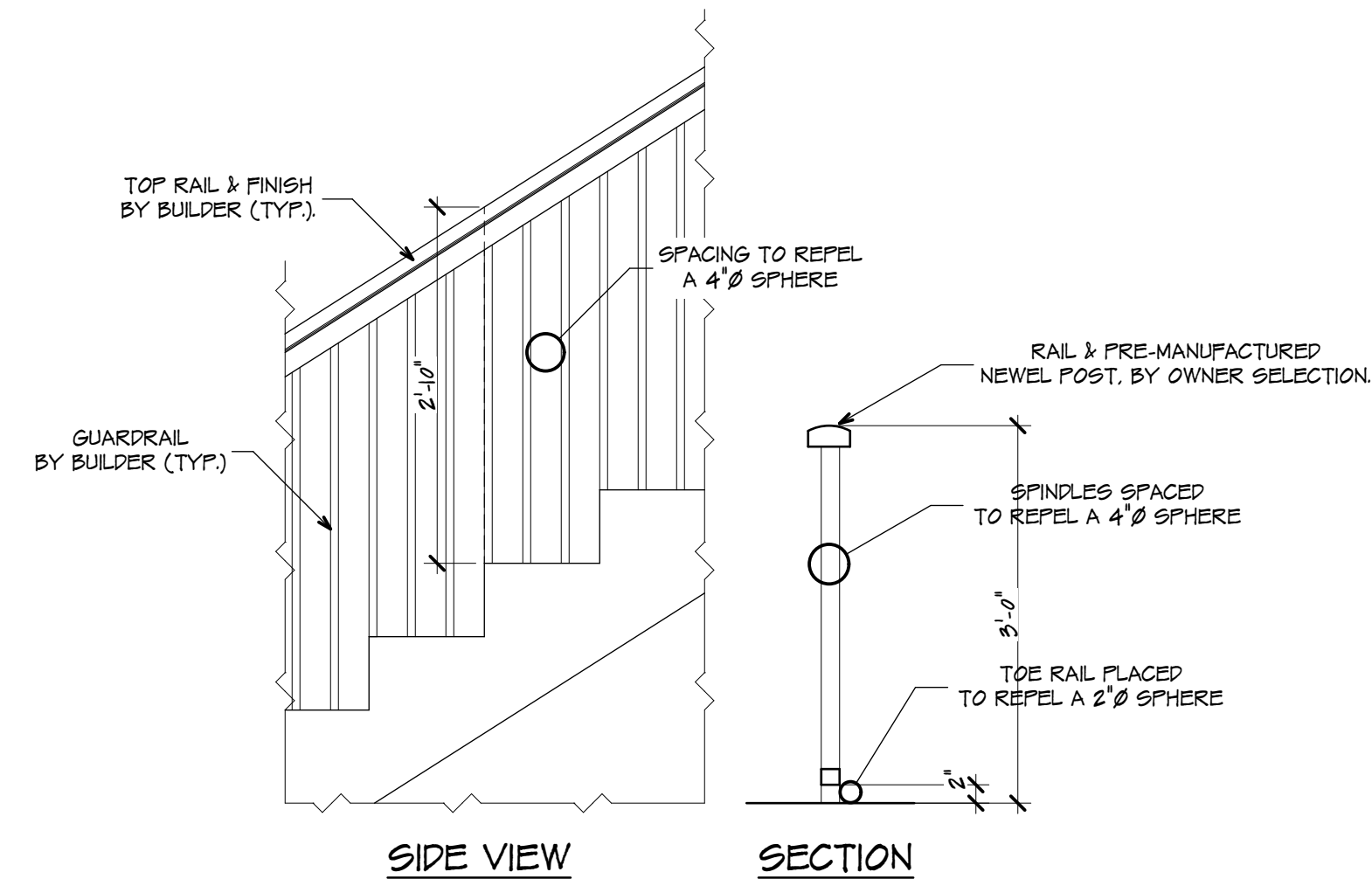
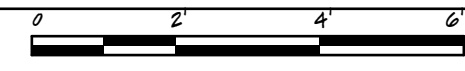
METER PLATFORM

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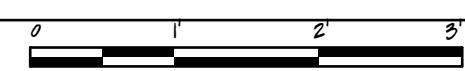
LIQUID FLASHING DETAIL

SCALE: $3/8'' = 1'-0''$



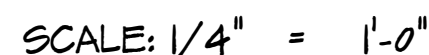
STAIR DETAIL

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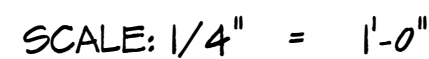


RAILING NOTE:

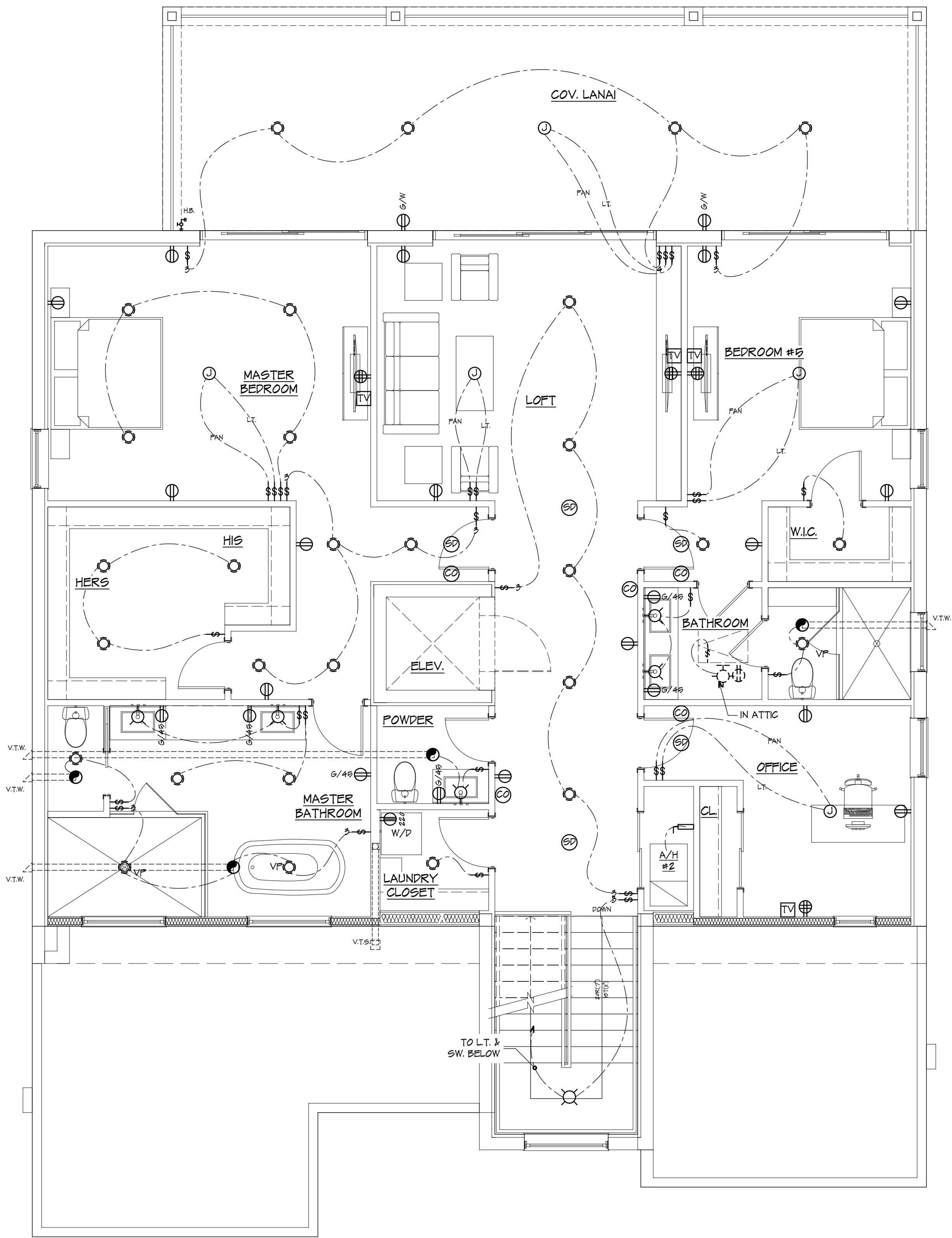
RAILINGS TO BE DESIGNED AND FABRICATED TO RESIST
LATERAL LOADS OF 50 pcf OR 200 lb CONCENTRATED APPLIED
NON-CONCURRENTLY AT ANY LOCATION IN ANY DIRECTION.
SPINDLES SPACING TO REPEL A 4"Ø SPHERE.
TOE RAIL TO FINISH FLOOR SPACE TO REPEL A 2"Ø SPHERE.



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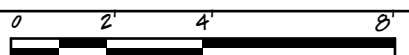


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SECOND LEVEL ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

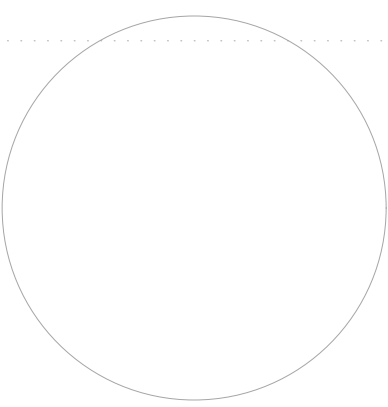


ELECTRICAL NOTES:

- ALL WORK TO BE IN STRICT ACCORDANCE WITH CURRENT EDITION OF THE N.E.C. AND LOCAL CODES.
- ELECTRICAL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES.
- ALL LIGHT SWITCHES TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR U.N.O.
- ALL RECEPTACLES TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR U.N.O.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS POWERED BY HOUSE ELECTRIC w/ BATTERY BACKUP & INTERCONNECTED, INSTALLED IN SLEEPING ROOM, & IN HALL OR AREA IMMEDIATELY OUTSIDE & AT HIGHEST POINT OF RESIDENCE.
- ALL RECEPTACLES TO BE ARC-FAULT PROTECTED AS PER N.E.C. ART. 210.12.
- ALL BATHROOM, KITCHEN, LAUNDRY, GARAGE & EXTERIOR RECEPTACLES TO BE G.F.I. PROTECTED.
- PROVIDE ALL NECESSARY PULL/JUNCTION BOXES, SUPPORTS AND MISC. ITEMS FOR A COMPLETE INSTALLATION.
- PROVIDE TYPE WRITTEN PANEL DIRECTORIES.
- SWITCHES AND RECEPTACLES SHALL BE 15 AMP RESIDENTIAL GRADE, VERIFY COLOR. PROVIDE MATCHING COVER PLATES.
- CONCEAL ALL WIRING, CONDUITS AND BOXES UNLESS OTHERWISE NOTED.
- EMT FITTINGS SHALL BE STEEL SET SCREW.
- MAKE FINAL CONNECTIONS TO EQUIPMENT WITH FLEXIBLE METAL CONDUIT. LIQUID TIGHT WHERE EXPOSED TO WEATHER.
- INSTALL TAMPER RESISTANT RECEPTACLES AS PER N.E.C. ART. 210.52 AND 406.11.
- INSTALL GROUND FAULT PROTECTION AS PER N.E.C. ART. 210.8.
- EXTERIOR GROUND FAULT RECEPTACLES SHALL BE MARKED "WR" AS PER N.E.C. ART. 406.8.
- INSTALL REQUIRED CIRCUITS AS PER N.E.C. ART. 210. SECTION III.
- DOORS & WINDOWS PROVIDING DIRECT ACCESS TO POOL DECK TO BE EQUIPPED w/ EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DECIBELS AT 10 FEET. PER REQUIREMENTS DESCRIBED IN FLORIDA STATUTES SECTION 510.37. THE RESIDENTIAL SWIMMING POOL SAFETY ACT. SYSTEM TO BE HARD WIRED.
- ALL EQUIPMENT AND ELECTRICAL DEVICES TO BE MOUNTED ABOVE FLOOD PLANE ELEVATION, EXCEPT WHERE ALLOWED BY CODE FOR LIFE SAFETY ACCESS NEEDS.
- ALL EQUIPMENT AND ELECTRICAL DEVICES TO BE MOUNTED ABOVE DESIGN FLOOD ELEVATION, EXCEPT WHERE ALLOWED BY CODE FOR LIFE SAFETY ACCESS NEEDS.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	220V. RECEPTACLE
	QUAD RECEPTACLE, 125 V, 20 AMP.
	DUPLEX RECEPTACLE, 125V, 20 AMP
	SINGLE POLE RECEPTACLE, 125V, 20 AMP
	ABOVE DESIGN FLOOD ELEVATION
	GROUND FAULT INTERRUPTER
	UNDER COUNTER
	WEATHER PROTECTED
	LIGHT SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SURFACE MOUNTED LIGHT
	WALL MOUNTED LIGHT
	VANITY LIGHT
	6" RECESSED LIGHT
	VAPOR PROOF
	DOUBLE STRIP LT. SURFACE MTD.
	SINGLE STRIP LT. SURFACE MTD.
	JUNCTION BOX
	SMOKE DETECTOR CEIL. MTD.
	CARBON-MONOXIDE DETECTOR, WALL MTD. 18" A.F.F.
	CA-TV JACK
	EXHAUST FAN
	VENT THRU WALL
	GARBAGE DISPOSAL
	GARBAGE OPENER
	PUSH BUTTON
	CHIME
	PANEL
	DISCONNECT SWITCH
	ELECTRICAL METER

TULIO J. ZULOAGA
REGISTERED ARCHITECT
FLORIDA REG. No. AR101546
NCARB CERT. No. 99973
14055 46th St N, Ste 1105, CLEARWATER, FL 33762
(727) 533-1327 - tuloaga@tz-designer.com

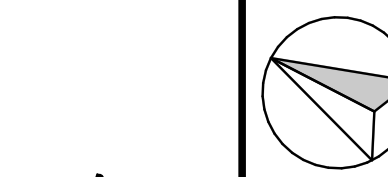


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I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE STRUCTURAL ELEMENTS AND SYSTEMS FOR THIS STRUCTURE HAVE BEEN DESIGNED TO BE IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE 8th EDITION AND CURRENT SUPPLEMENTS. ALL OTHER ELEMENTS, SYSTEMS AND ASSEMBLIES ARE THE RESPONSIBILITY OF OTHERS.

CONSULTANTS
JOSEPH W. BELT, P.E.
CONSULTING STRUCTURAL ENGINEER
FLORIDA REG.# 45147 - CA # 29694
1503 A W Beach Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

J.W.B JOB No.: ET23-1053



A NEW RESIDENCE
ELLIS COASTAL
PROPERTIES 2
12488 6TH ST E
TREASURE ISLAND
FLORIDA 33706

	02/10/24	SETBACKS
MARK	DATE	REVISION

DATE OF ISSUE: 01/10/24
PROJECT No.: 23-082
DRAWN BY: DP/ VC
CHECKED BY: T.JZ

SHEET TITLE
SECOND LEVEL
ELECTRICAL
PLAN

E-I.3