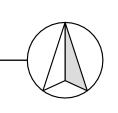
ELLIS COASTAL PROPERTIES 2

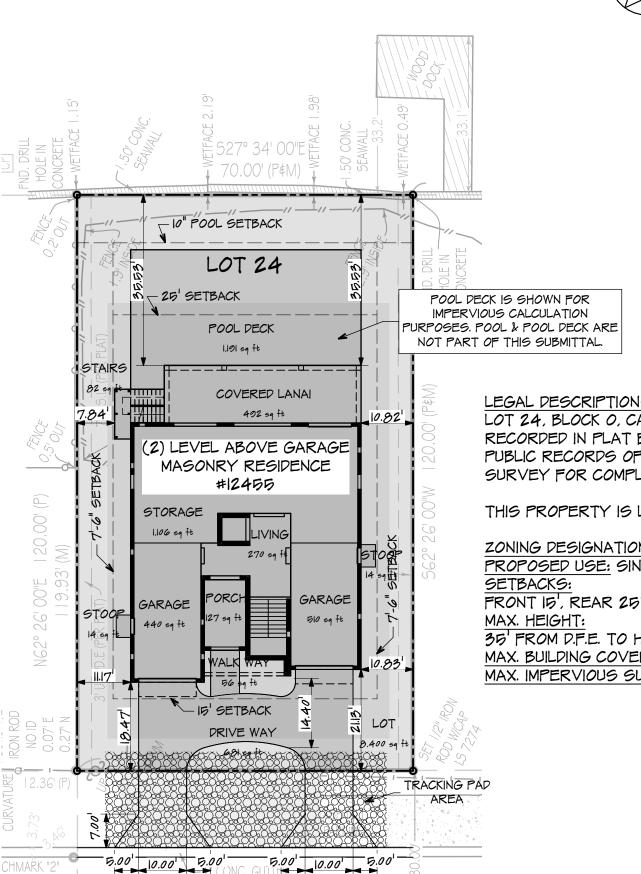
PROJECT SUMMARY: A 2-STORY OVER GARAGE & UN-FINISHED STORAGE STRUCTURE; MASONRY ALL EXTERIOR WALLS, PRE- ENGINEERED WD. TRUSSES, STUCCO FINISH WITH SIDING ACCENTS. 5-BEDROOMS, 5-BATHS & 2 HALF BATHS, CONTEMPORARY COASTAL STYLE.

Google Maps 12455 6th St E



LOCATION MAP





24.0' ASPHALT ROADWAY

60' RIGHT-OF-WAY

LEGAL DESCRIPTION:
LOT 24, BLOCK O, CAPRI ISLE BLOCKS L-M-N-O, AS
RECORDED IN PLAT BOOK 30, PAGE 6 AND 7, OF THE
PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. SEE
SURVEY FOR COMPLETE DESCRIPTION.

THIS PROPERTY IS LOCATED IN FLOOD ZONE AE II.0 B.F.E.

ZONING DESIGNATION: RU-75 - RESIDENTIAL URBAN PROPOSED USE: SINGLE FAMILY RESIDENCE SETBACKS:
FRONT 15', REAR 25', SIDE 7.5'. MAX. OVERHANG 48"
MAX. HEIGHT:

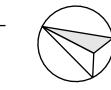
35 FROM D.F.E. TO HIGHEST POINT OF ROOF.
MAX. BUILDING COVERAGE: 50%
MAX. IMPERVIOUS SURFACE: 70%

SITE PLAN

SCALE: |" = 20'

NOTE: ALL SITE WORK TO COMPLY

WITH NPDES REQUIREMENTS.







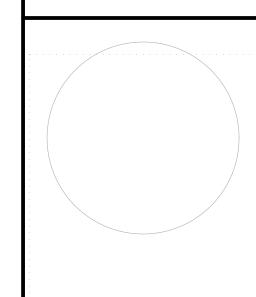
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	SHEET INDEX
ID	DESCRIPTION
A-0.1	DESIGN CRITERIA
A-0.2	DRAINAGE PLAN
A-1.1	GROUND LEVEL FLOOR PLAN
A-1.2	FIRST LEVEL FLOOR PLAN
A-1.3	SECOND LEVEL FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
9-1.1	PILING PLAN
9-1.2	FOUNDATION PLAN
9-1.3	GROUND LEVEL LINTEL PLAN
6-1.4	FIRST LEVEL LINTEL PLAN
9-1.5	SECOND LEVEL LINTEL PLAN
9-1.6	FLOOR FRAMING PLAN
S-I.7	FLOOR & ROOF FRAMING PLAN
9-1.8	ROOF FRAMING PLAN
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E-1.1	GROUND LEVEL ELECTRICAL PLAN
E-1.2	FIRST LEVEL ELECTRICAL PLAN
E-1.3	SECOND LEVEL ELECTRICAL PLAN
	-1

ABBREV.	DESCRIPTION
ADA	AMERICANS WITH DISABILITIES ACT
ALUM.	ALUMINUM
BD.	BOARD
B.F.E	BASE FLOOD ELEVATION
BLK ¹ G.	
CIP	BLOCKING CAST-IN-PLACE
CSMT.	
CSM1.	CLOSET (WINDOW)
CONC.	CONCRETE
CONC.	
CONT.	CONCRETE MASONRY UNITS
D D	CONTINUOUS
	DRYER
DBL.	POUBLE TO SEE THE TOTAL
D.F.E	DESIGN FLOOD ELEVATION
EXT.	EXTERIOR
F.G.	FIXED GLASS (WINDOWS)
FRM.	FRAME
FRM'G.	FRAMING
H.B.	HOSE BIB
HT.	HEIGHT
INT.	INTERIOR
L.	LINEN
L.B.P.	LOAD BEARING POINT
L.G.F.E.	LOWEST GARAGE FLOOR ELEVATION
L.L.F.E.	LOWEST LIVING FLOOR ELEVATION
L.P.M.T.	LOW PROFILE METAL THRESHOLD
LT.	LIGHT
MAS.	MASONRY
MTL.	METAL
MIR.	MIRROR
M.O.	MASONRY OPENING
M.Ţ.	METAL THRESHOLD
N.A.V.D	NORTH AMERICAN VERTICAL DATUM
OVHD	OVERHEAD DOOR
P.T.	PRESSURE TREATED
R&S	RACK & SHELF
6.H.	SINGLE HUNG (WINDOW)
SH.	SHELVES
ST.	STORAGE
STL.	STEEL
T.E.	THICKENED EDGE
T.G.	TEMPERED GLASS
T.O.M.	TOP OF MASONRY
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W	WASHER
WD.	WOOD
W.M.	WIRE MESH

W.W.F. WELDED WIRE FABRIC





THE ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY TULIO J. ZULOAGA, R.A. ON THE DATE SHOWN USING A SHA256 RSA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE
AND BELIEF ALL OF THE STRUCTURAL ELEMENTS
AND SYSTEMS FOR THIS STRUCTURE HAVE BEEN
DESIGNED TO BE IN COMPLIANCE WITH THE 2023
FLORIDA BUILDING CODE 8th EDITION AND
CURRENT SUPPLEMENTS. ALL OTHER ELEMENTS
SYSTEMS AND ASSEMBLIES ARE THE
RESPONSIBILITY OF OTHERS

CONSULTANTS

JOSEPH W. BELT, P.E.
CONSULTING STRUCTURAL ENGINEER
FLORIDA REG.# 45147 - CA # 29694
1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

J.W.B JOB No.: ET23-1053



A NEW RESIDENCE
LLIS COASTAL
ROPERTIES 2

12455 G TREASI

02/19/24 SETBACKS

MARK DATE REVISION

DATE OF ISSUE: 01/19/24

 PROJECT No.:
 23-052

 DRAWN BY:
 D.P./ V.C.

 CHECKED BY:
 T.J.Z.

COVER SHEET

GENERAL NOTES

- I.- GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. IF
 CONDITIONS DIFFER FROM THAT REPRESENTED IN THESE DRAWINGS, GENERAL
 CONTRACTOR MUST NOTIFY THE ARCHITECT PRIOR TO PERFORMING ANY PROPOSED
 WORK TO PROVIDE CORRECTIVE DETAILS.
- 2.- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES LINES
 BEFORE CASTING FOUNDATIONS, OR CAST PROTECTION AROUND LINES AS REQUIRED.
- 3.- PLUMBING CONTRACTOR TO VERIFY SIZE AND CAPACITY OF AVAILABLE SERVICE. ALL WORK TO BE IN STRICT COMPLIANCE WITH LOCAL CODE.
- 4.-MECHANICAL CONTRACTOR TO VERIFY SIZE AND CAPACITY OF PROPOSED A.C. SYSTEM. NEW DUCTWORK TO BE $I^{1/2}$ " R-8 MIN. ALL WORK TO BE IN STRICT COMPLIANCE WITH MIN. ASHRAE AND LOCAL CODE.
- 5.- CONSTRUCTION IN HIGH HAZARD FLOOD ZONE. A FEMA "UNDER CONSTRUCTION" ELEVATION CERTIFICATE MUST BE PROVIDED AT THE LINTEL INSPECTION.

WARNING:

THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO THE PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY AFFIXED TO STRUCTURE AS DIRECTED. THE ARCHITECT ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION, UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE ARCHITECT DURING CONSTRUCTION.

FOUNDATION DESIGN BASIS:

- THE PROPERTY IS LOCATED WITHIN A HIGH HAZARD FLOOD ZONE AE II.0 B.F.E. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM WHATEVER SUB-GRADE TESTING THAT IS NECESSARY TO CONFIRM THE BEARING CAPACITY WITHOUT EXCESSIVE SETTLEMENT. IF SOIL OF THIS CAPACITY IS NOT AVAILABLE, NOTIFY THE ARCHITECT FOR CORRECTIVE DETAILS. THERE IS NO WARRANTY OF SOIL CONDITIONS BY THE ARCHITECT.
- CONSTRUCTION IN HIGH HAZARD FLOOD ZONE. "I CERTIFY THE STRUCTURES SHOWN IN THE PLANS SUBMITTED ARE DESIGNED TO BE SECURELY ANCHORED TO ADEQUATE FOUNDATION, WALLS AND/OR COLUMNS"
- THE PILE FOUNDATION RECOMMENDED FOR THIS BUILDING IS DICTATED BY THE SOIL CONDITIONS AS IDENTIFIED BY THE TEST REPORT. CONTINUOUS STRIP FOOTINGS AND/OR SPREAD FOOTINGS SHOWN ON THE FOUNDATION PLAN ARE NOT INTENDED TO SUPPORT MAIN STRUCTURE ELEMENTS.
- ALL FILL UNDER FOUNDATIONS SHALL BE COMPACTED MIN. TO 05% OF MAXIMUM DENSITY (MODIFIED PROCTOR TEST) AT OPTIMUM MOISTURE CONTENT.

TERMITE NOTES:

- I- A WEATHER RESISTANT JOB SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE OWNER AND FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.
- 2- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRICAL PANEL.
- 3.- ALL WORK RELATED TO TERMITE PREVENTION TO BE PERFORMED ACCORDING w/ FLORIDA BUILDING CODE, SECTION 1816, SUBSECTIONS & CURRENT UPDATES.

CAST-IN-PLACE CONCRETE:

- I.- VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, CONSTRUCTION DOCUMENTS AND PROPERLY COORDINATED APPROVED SHOP DRAWINGS.
- 2.- EXPANSION AND CONTROL JOINTS ARE TO BE PLACED PER A.C.I. RECOMMENDATIONS.
- 3.- THE CONTROL JOINTS PLACEMENT SHOWN ON THE FOUNDATION PLAN MAY BE ALTERED BY THE G.C. PROVIDED THE ARCHITECT IS NOTIFIED OF THIS ALTERATION FOR APPROVAL PRIOR TO CONSTRUCTION.
- 4.- ALL REINFORCED CONCRETE SHALL BE NORMAL WEIGHT.
- 5.-LAP HORIZONTAL STL. IN FOOTINGS AND TIE BEAMS 40 TIMES THE BAR DIAMETER, (I.E. 25" MIN. FOR #5 BAR).
- 6.-PROVIDE CORNER BARS IN FOOTINGS. AND TIE BEAMS TO MATCH HORIZONTAL STEEL. PROVIDING REQUIRED LAP.
- 7.- SUBSTITUTION OF W.W.F. WITH FIBER-MESH REINFORCED CONCRETE FOR CONC. SLABS ON COMPACTED FILL IS AN APPROVED ALTERNATIVE. WHEN FIBER-MESH REINFORCING IS SELECTED FOR SLABS ON GRADE, NO OTHER STEEL REINFORCING IS REQUIRED U.N.O.

MASONRY:

- I.- THE GENERAL CONTRACTOR MUST BE IN ATTENDANCE AND MONITOR ALL REINFORCED MASONRY OPERATIONS INCLUDING DOWEL PLACEMENT.
- 2.- GROUT BLOCK CELL FILL SHALL HAVE 8" TO 10" SLUMP.
- 3.- LAP STL. IN MASONRY WALLS AND BOND BEAMS 48 TIMES THE BAR DIAMETER, (I.E. 30" MIN. FOR #5 BAR).

WOOD TRUSS NOTES:

- I.- ALL DESIGNS BY REGISTERED PROFESSIONAL ENGINEER IN STATE OF FLORIDA.

 SUBMIT TRUSS SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT FOR REVIEW

 AND APPROVAL PRIOR TO FABRICATION. TRUSS ATTACHMENT HARDWARE MAY BE

 MODIFIED IF REQUIRED.
- 2.- ALL TRUSSES TO BE DESIGNED PER APPLICABLE PROVISIONS OF FLORIDA BUILDING CODE AND APPLICABLE TIMBER CODES. TOP CHORD OF TRUSSES TO BE #2 SOUTHERN PINE OR BETTER.

- 3.- ALL TRUSS TO TRUSS AND OVER-FRAMING CONNECTIONS ARE TO BE SPECIFIED BY TRUSS MANUFACTURER.
- 4.-SUBMIT (3) SIGNED & SEALED SETS OF SCALED SHOP DRAWINGS TO THE BUILDING DEPARTMENT SHOWING ALL STRESSES, MEMBERS, CONNECTIONS OF TRUSSES TO TEMPORARY OR PERMANENT BRACING. INDICATE ALL REACTIONS, INCLUDING UPLIFT. INDICATE WIND VELOCITY, HEIGHT ABOVE GRADE AND CONNECTIONS OF TRUSSES TO TRUSSES INCLUDING VALLEY SETS.
- 5.- THE TRUSS LAYOUT SHOWN MAY BE ALTERED BY THE TRUSS SUPPLIER PROVIDED THAT THE ARCHITECT IS NOTIFIED OF ANY REVISIONS TO THE ROOF SUPPORT LOCATION. IF THE TRUSS SUPPLIER MAKES REVISIONS WITHOUT NOTIFICATION TO THE ARCHITECT, THE TRUSS SUPPLIER ASSUMES FULL RESPONSIBILITY FOR THE STRUCTURAL DESIGN OF THE SUBSTRUCTURE, INCLUDING WALLS, POSTS AND FOUNDATIONS.
- 6.-PRE-ENGINEERED WOOD TRUSS ERECTOR IS REQUIRED TO HANDLE AND INSTALL TRUSSES PER MANUFACTURER'S INSTRUCTIONS. AS A MINIMUM, INSTALL BRACING IN ACCORDANCE WITH BCSI I-03, AND LEAVE PERMANENTLY IN PLACE. MOVE TO OPPOSITE SIDE OF CHORD IF NECESSARY DUE TO INTERFERENCE WITH SHEATHING OR CEILING MATERIALS. TOP AND BOTTOM CHORD MEMBERS OF THE PRE-ENGINEERED TRUSS SYSTEM FOR THE COMPLETE STRUCTURE ARE TO BE CONTINUOUSLY BRACED BY SHEATHING AND CEILING FINISHES. THE ROOF TRUSS SYSTEM IS NOT COMPLETED UNTIL ALL BRACING, SHEATHING AND FINISHES ARE PERMANENTLY ATTACHED.

 WOOD FRAMING NOTES:
- I.- FOLLOW ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE, FOR ALL WOOD FRAMING INCLUDING BUT NOT LIMITED TO CONNECTIONS, BRACING, BRIDGING AND NAILING.
- 2.- ALL WOOD SUBJECT TO MOISTURE EXPOSURE OR ADJACENT TO CONCRETE OR MASONRY SHALL BE OF AN APPROVED NATURALLY DURABLE SPECIES OR PRESERVATIVE TREATED APPROPRIATELY FOR ITS INTENDED USE, IN ACCORDANCE WITH FLORIDA BUILDING CODE, RESIDENTIAL, SECTION 317.
- 3.- VERIFY SHEATHING TYPE AND THICKNESS WITH ROOF MATERIAL MANUFACTURER'S REQUIREMENTS FOR WIND LOADING RESISTANT ATTACHMENT.
- 4.-SUFFICIENT VENTILATION UNDER ROOF AREAS SHALL BE PROVIDED. (F.B.C. RESIDENTIAL, SECTION 806.1)

HOLD-DOWN SPECIFICATION:

- I.- ALL HOLD-DOWNS HANGERS, CLIPS, ETC. TO BE SIMPSON STRONG-TIE OR APPROVED EQUAL.
- 2.- ALL CONNECTORS AND FASTENER EXPOSED TO WEATHER SHALL BE LONG LIFE AND CORROSION RESISTANT.
- 3.- ALL CONNECTORS AND FASTENERS THROUGH OR ADJACENT TO ACQ PRESERVATIVE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED, STAINLESS STEEL OR SPECIFICALLY APPROVED FOR SUCH USAGE BY THE MANUFACTURER.
- 4.-CONTINUOUS TIE-DOWN SYSTEM TO BE MIN. I/2" THREADED ROD, EPOXIED 6" INTO CONCRETE OR MASONRY BOND BEAM, I/2" COUPLINGS & NUT WITH 2" SQUARE WASHER @ TOP OF FRAME WALL. SEE PLANS, SECTIONS & DETAILS FOR SPECIAL SIDE & TOP MOUNTED CONNECTORS.

GARAGE DOOR JAMBS:

1

PLAN
GABLE & FLAT ROOFS ⇔≤ 7°

0.6h | 0.6h

(2)(1)

USE MINIMUM (4) 1/2" ANCHOR BOLTS AT JAMBS FOR DOORS 10'-0" & UP TO 18'-0" WIDE.

OPENING PROTECTION NOTE:

- I.- ALL WINDOWS TO HAVE LAMINATED IMPACT RESISTANT GLASS, IN COMPLIANCE WITH FLORIDA BUILDING CODE.
- 2.- ALL DOORS TO HAVE TEMPERED & LAMINATED IMPACT RESISTANT GLASS TO MEET LIFE SAFETY STANDARDS & IN COMPLIANCE WITH FLORIDA BUILDING CODE.
- 3.- ALL WINDOWS & DOORS ARE TO BE TESTED IMPACT RESISTANT PRODUCTS INSTALLED PRECISELY AS INSTRUCTED BY THE MANUFACTURER.

FIGURE R301.2(7)

COMPONENT AND CLADDING PRESSURE ZONES

ELEVATION

WALLS

STRENGTH OF MATERIALS:

SUPPORTS.

REINFORCING STEEL fy= 60,000 psi GRADE 60 - ASTM A615 WELDED WIRE FABRIC 6x6 WI.4xWI.4 U.N.O. CONCRETE SLABS, BEAMS, FOOTINGS fc= 3,000 psi REINFORCED MASONRY fc= 1,500 psi C.M.U. MIN. COMPRESSIVE STRENGTH 2,000 psi (NET AREA) C.M.U. MIN. PRISM STRENGTH f'm= 1,500 psi, U.N.C MASONRY GROUT fc= 3,000 psi MORTAR FOR MASONRY TYPE S OR M. #2 SYP STRUCTURAL FRAMING LUMBER LVL BEAMS Fb= 2,850 psi, 2.0E PSL COLUMNS

SHEATHING DIAPHRAGM: (FBCR TABLE R803.2.2 & R803.2.3.1)
- ROOF - ALL ZONES: 19/32" APA RATED PLWD.

UNBLOCKED PANEL ALLOWABLE SHEAR = 300 lbs/FT.

FASTEN TO WD. TRUSSES WITH 8d ($2^{1/2}$ "x0.131" - 10GA) DEFORMED NAILS SPACED @ 4"

O.C. AT ENDS, EDGES, CUTS, TERMINATIONS & INTERIOR SUPPORTS. FASTEN

SHEATHING TO SUB-FASCIA @ 4" O.C.

- WD. FRAME WALLS - EXTERIOR FACE 15/32" APA RATED PLWD
BLOCKED PANEL ALLOWABLE SHEAR = 300 lbs/FT.

FASTEN TO WD. STUDS WITH 8d $(2^{1/2}" \times 0.131" - 10GA)$ DEFORMED NAILS SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR SUPPORTS..

- WP. FRM. WALLS - INTERIOR FACE I/2" GYPSUM BOARD BLOCKED PANEL ALLOWABLE SHEAR = I45 lbs/FT. FASTEN TO WP. STUPS WITH $I^{1/2}$ " DRYWALL SCREWS SPACED @ 8" O.C. AT ALL ENDS , EDGES, CUTS, TERMINATIONS & @ I2" O.C. INTERIOR SUPPORTS.

- WD. FRM. WALLS (INTERIOR BELOW D.F.E.) I/2" CEMENT FIBER BOARD FASTEN TO WD. STUDS WITH #0 × $1^{1/4}$ " CEMENT BOARD SCREWS SPACED @ 6" O.C. AT ALL ENDS , EDGES, CUTS, TERMINATIONS & @ 12" O.C. INTERIOR SUPPORTS.

- FLOOR - DECK

UNBLOCKED PANEL ALLOWABLE SHEAR = 430 lbs/FT.

FASTEN WITH #10 x 2^{1/2}" BUGLE HEAD SCREWS OR 10d (3"x0.120" - 9GA) SPACED

@ 6" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR

- CEILINGS - INTERIOR 5/8" GYP. BD. OR 1/2" CEIL. BD. FASTEN TO TRUSSES OR RAFTERS WITH $1^{5/8}$ " DRYWALL SCREWS @ 8" O.C. AT ALL ENDS , EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR SUPPORTS.

- CEILINGS - GARAGE BELOW HAB. ROOMS. 5/8" TYPE 'X' GYP. BD.
FASTEN TO TRUSSES OR RAFTERS WITH 17/8" DRYWALL SCREWS @ 6" O.C. AT ALL ENDS, EDGES, CUTS, TERMINATIONS & INTERIOR SUPPORTS.

- UNDER STAIRS - WALLS & CEILING: I/2" GYP. BD. (I/2" CEM. BD. BELOW DFE) FASTEN TO WOOD MEMBERS & BLOCKING WITH $1^{5/8}$ " DRYWALL SCREWS (OR #0 x $1^{1/4}$ " CEMENT BOARD SCREWS) @ 8" O.C. AT ALL ENDS , EDGES, CUTS, TERMINATIONS & @ 12" O.C. AT INTERIOR SUPPORTS.

CODE COMPLIANCE DATA:

PROJECT SCOPE: A 2-STORY OVER GARAGE & UN-FINISHED STORAGE STRUCTURE;
MASONRY ALL EXTERIOR WALLS, PRE- ENGINEERED WD. TRUSSES, STUCCO FINISH WITH
SIDING ACCENTS. 5-BEDROOMS, 5-BATHS & 2 HALF BATHS, CONTEMPORARY COASTAL
STYLE

APPLICABLE CODES:

2023 FLORIDA BUILDING CODE: RESIDENTIAL, 8th EDITION
2023 FLORIDA BUILDING CODE: ENERGY CONSERVATION, 8th EDITION
2023 FLORIDA BUILDING CODE: TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE
ZONE, 8th EDITION
2023 FLORIDA BUILDING CODE: PLUMBING, 8th EDITION
2023 FLORIDA BUILDING CODE: MECHANICAL, 8th EDITION
2023 FLORIDA BUILDING CODE: FUEL GAS, 8th EDITION

NATIONAL FIRE PROTECTION AGENCY NFPA 101, 2020 EDITION.

NFPA 1, 2020 EDITION.

NATIONAL ELECTRICAL CODE

FLORIDA FIRE PREVENTION CODE

ANGI / AGHRAE STANDARD 62.1-2019

TYPE OF CONSTRUCTION:

NFPA 70, NEC, 2021 EDITION

FFPC, 7th. EDITION 2023

V-B (FBC-B 601 & 602)

MEANS OF PROTECTION: UNPROTECTED

AMERICAN NATIONAL STANDARD ASCE/SEI 7-22

LOAD DESIGN PARAMETERS WIND LOADS:

RISK CATEGORY:

II (FBC-B TABLE 1604.5 & ASCE 7.16)

BUILDING DESIGN:

ENCLOSED

INTERNAL PRESCRIPE COEFFICIENT: CC::- 1 / 0.19 PGF

INTERNAL PRESSURE COEFFICIENT: GCp= +/- 0.18 PSF
WIND BORNE DEBRIS ZONE: YES
WIND IMPORTANCE FACTOR: Iw = 1.00

- FOR WIND LOAD BASIS, MEAN ROOF HEIGHT BRACKET, SURFACE ROUGHNESS & WIND EXPOSURE CATEGORIES, HEIGHT & EXPOSURE COEFFICIENT, & EDGE DISTANCE SEE TABLE R30.2(2)

- WINDOWS, DOORS, SIDING, SOFFIT AND ROOFING DESIGN WIND PRESSURE PER

TABLE R301.2(2) & FIGURE R301.2(7) COMPONENT & CLADDING PRESSURE ZONES, IN THIS SHEET.

 - ATTACH ROOFING MATERIALS AS PER MANUFACTURER'S SPECIFICATIONS & PRODUCT APPROVAL INSTALLATION INSTRUCTIONS..

GRAVITY LOADS: (FBC-R301.4, FBC-R301.5)

FLOOR DEAD LOAD 15 PSF

FLOOR LIVE LOAD LIVING 40 PSF + 10 PSF PARTITIONS

BEDROOMS 30 PSF + 10 PSF PARTITIONS

EXT. DECK 40 PSF

ROOF DEAD LOAD 15 PSF

ROOF LIVE LOAD 20 PSF

ROOF LIVE LOAD

PRE-ENGINEERED TRUSSES:

WLL TOP CHORD

WLL BOT CHORD

WDL TOP CHORD

WDL TOP CHORD

10 PSF

RAIN LOADS:

FLAT OR LOW SLOPED ROOF

20.8 PSF @ 4.06"/HR.

SOIL BEARING PRESSURE:

GEOTECH REPORT:

GEOTECH REPORT:

CENTRAL FLORIDA TESTING LABORATORIES

PRE-ENGINEERED FLOOR & ROOF TRUSSES
PRODUCT APPROVALS:

SEE TABLE THIS SHEET.

INC, PROJECT No. 247012

TABLE R301.2(2) - 2023 FBC-R 8th Edition COMPONENT AND CLADDING WIND LOADS FOR A BUILDING (psf) MEAN ROOF HEIGHT: 35 FEET EXPOSURE: D HT & EXP COEFFICIENT= 1.70

FFECTIVE WIND WIND SPEED (Vult) 146 MPH (Vult) Pos GABLE ROOF 0 TO 7 DEGREES 15.9 15.0 13.6 12.6 15.9 15.0 13.6 12.6 15.9 15.0 13.6 12.6 15.0 13.6 12.6 39.2 37.4 35.0 33.4 39.2 37.4 35.0 HEIGHT 10 TO 16 32.8 113 MPH (Vasd)

Table values have been multiplied by 0.6 to convert component and cladding pressures to ASD.

a= 4.0

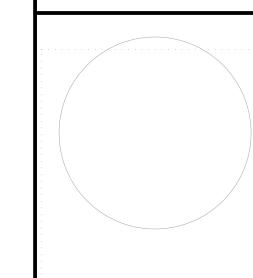
	FLORIDA	PRODUCT APPRO	VAL TABLE	
CATEGORY	SUBCATEGORY	DESCRIPTION	MANUFACTURER	APP. / SEQ.
EXTERIOR DOORS	SECTIONAL	GARAGE/ GLASS	OVERHEAD DOOR	FL 38457.17
	SWINGING	IMPACT	ARTISTIC DOORS	FL 13862.1
	SLIDING	IMPACT	WINDOOR	FL 16755.8
PANEL WALLS	SIDING	WOOD SIDING	EAST TEAK	SEE SIDING NOTES, A-2.1
ROOFING	SINGLE PLAY ROOF	PVC ROOF SYSTEM	GAF	FL 3443.2
	ROOFING INSULATION	POLYIGOCYANURATE	GAF	FL 16311.1
STRUCTURAL COMP.	NEW TECH.	H.S. CONC. LINTEL	MARION MASONRY	FL 12103.1
	WOOD CONNECTORS		SIMPSON	SEE MANUFACTURER LIST, S-1.8
	PRE-ENGINEERED AC STANDS	WALL BRACKETS	DIVERSITECH CORP	FL 22529.1
	NEW TECH.	FLOOD VENT	SMART VENT	FL 5822.3
WINDOWS	FIXED	IMPACT	PGT INDUSTRIES	FL 29700.1
	CASEMENT	IMPACT	PGT INDUSTRIES	FL 330.3

SCLAIMER:

- THE PRODUCTS LISTED IN THE PRODUCT APPROVAL TABLE ARE PROVIDED FOR PLAN REVIEW AND PERMIT PURPOSES.
- THE ARCHITECT ASSUMES NO LIABILITY FOR THE PERFORMANCE OF THESE PRODUCTS, AS THESE WERE DESIGNED AND TESTED BY THE MANUFACTURERS, AND APPROVED AFTER MEETING THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- BY SIGNING AND SEALING THIS DOCUMENT, THE ARCHITECT IS ACCEPTING THE RESPONSIBILITY FOR THE SELECTION OF THESE PRODUCTS.
- IF THE FINAL SELECTIONS DIFFER PARTIALLY OR TOTALLY FROM THE PRODUCTS LISTED IN THIS TABLE, THE OWNER, AGENT AND / OR GENERAL CONTRACTOR ARE RESPONSIBLE FOR PROVIDING COPIES OF THE FLORIDA BUILDING CODE PRODUCT APPROVALS AND INSTALLATION INSTRUCTIONS TO THE AUTHORITY HAVING JURISDICTION.

TULIO J. ZULOAGA

REGISTERED ARCHITECT
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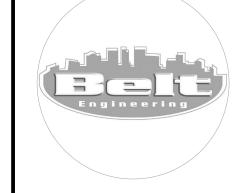
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CONSULTANTS

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1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

J.W.B JOB No.: ET23-1053



A NEW RESIDENCE ELLIS COASTAL PROPERTIES 2

O2/19/24 SETBACKS
MARK DATE REVISION

 DATE OF ISSUE:
 01/19/24

 PROJECT No.:
 23-052

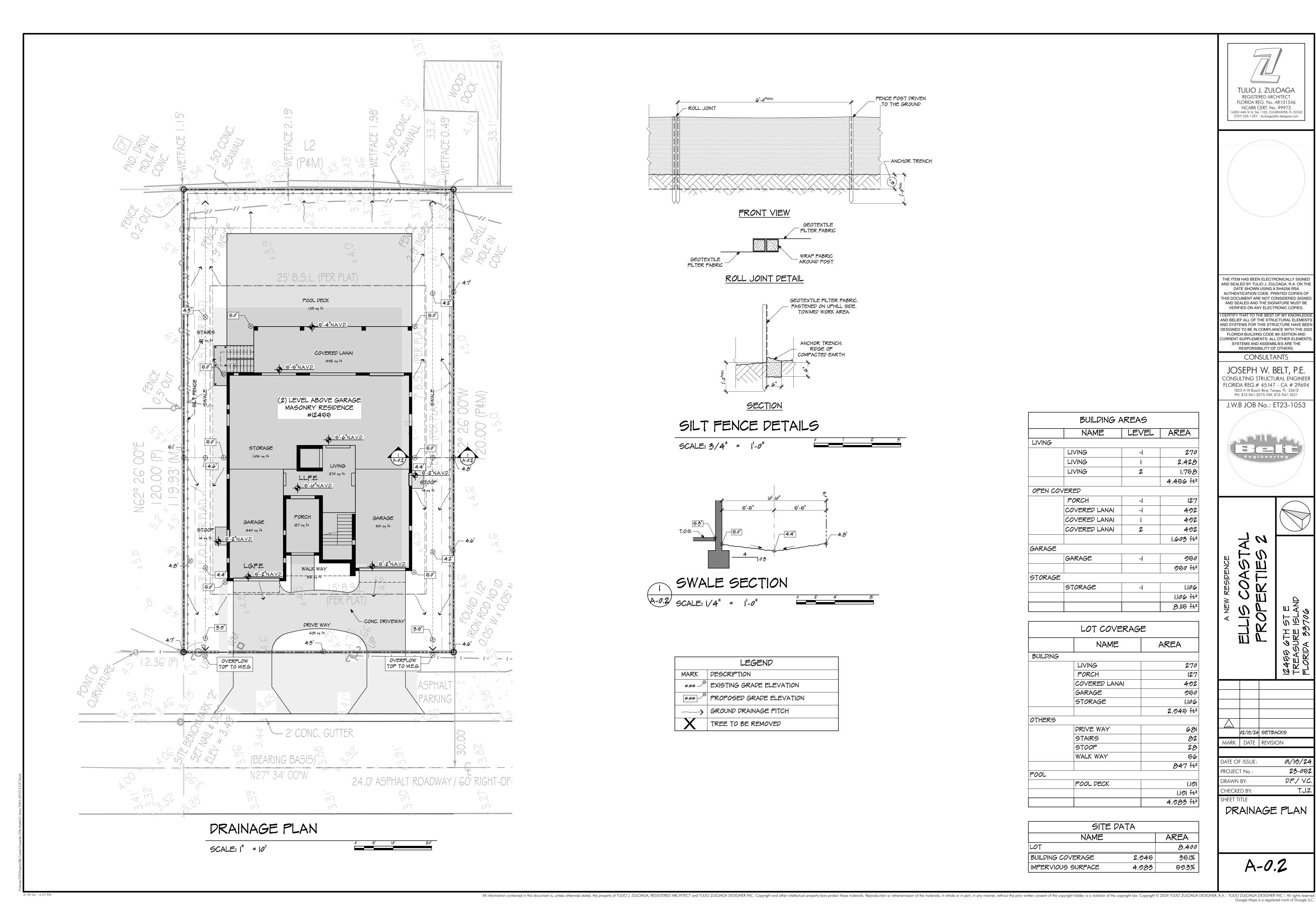
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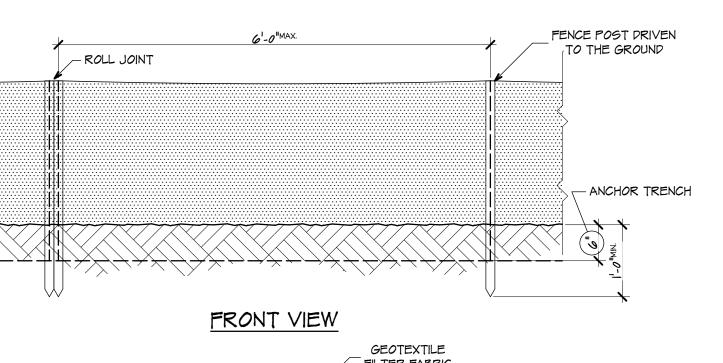
 CHECKED BY:
 T.J.Z

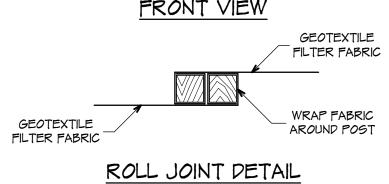
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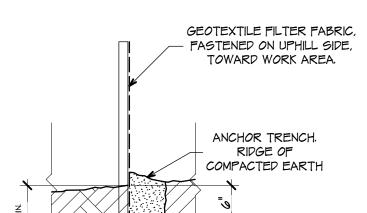
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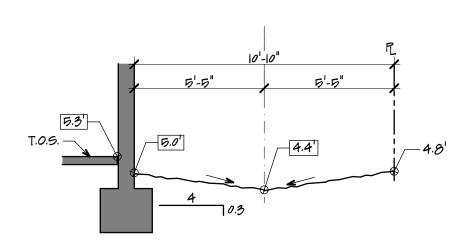






SILT FENCE DETAILS

SCALE: 3/4" = 1'-0"





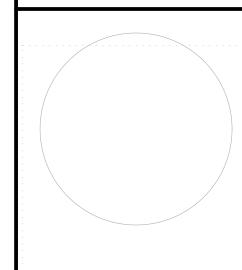
	LEGEND				
MARK	DESCRIPTION				
#.##_	EXISTING GRADE ELEVATION				
#.##	PROPOSED GRADE ELEVATION				
<i>→</i>	GROUND DRAINAGE PITCH				
X	TREE TO BE REMOVED				

	BUILDING /	AREAS	
	NAME	LEVEL	AREA
LIVING		1	
L	IVING	-1	270
L	IVING	ı	2,428
L	IVING	2	1.758
			4,456 ft
OPEN COVE	RED		ı
F	PORCH	-1	127
C	OVERED LANAI	-1	492
C	OVERED LANAI	ı	492
C	OVERED LANAI	2	492
			1,603 ft
GARAGE			ı
G	ARAGE	-1	950
			950 ft
STORAGE			ı
9	TORAGE	-1	1,100
			1,106 ft
			8,115 ft

	LOT COVERAG	E
	NAME	AREA
BUILDING		
	LIVING	27
	PORCH	12
	COVERED LANAI	40
	GARAGE	95
	STORAGE	1,10
		2.945 f
OTHERS		
	DRIVE WAY	68
	STAIRS	8
	STOOP	2
	WALK WAY	5
		847 f
POOL		
	POOL DECK	1,1
		1.101.1
		4.983 f

PATA	
	AREA
	8,400
2.945	35.1%
4.983	59.3%
	2,945





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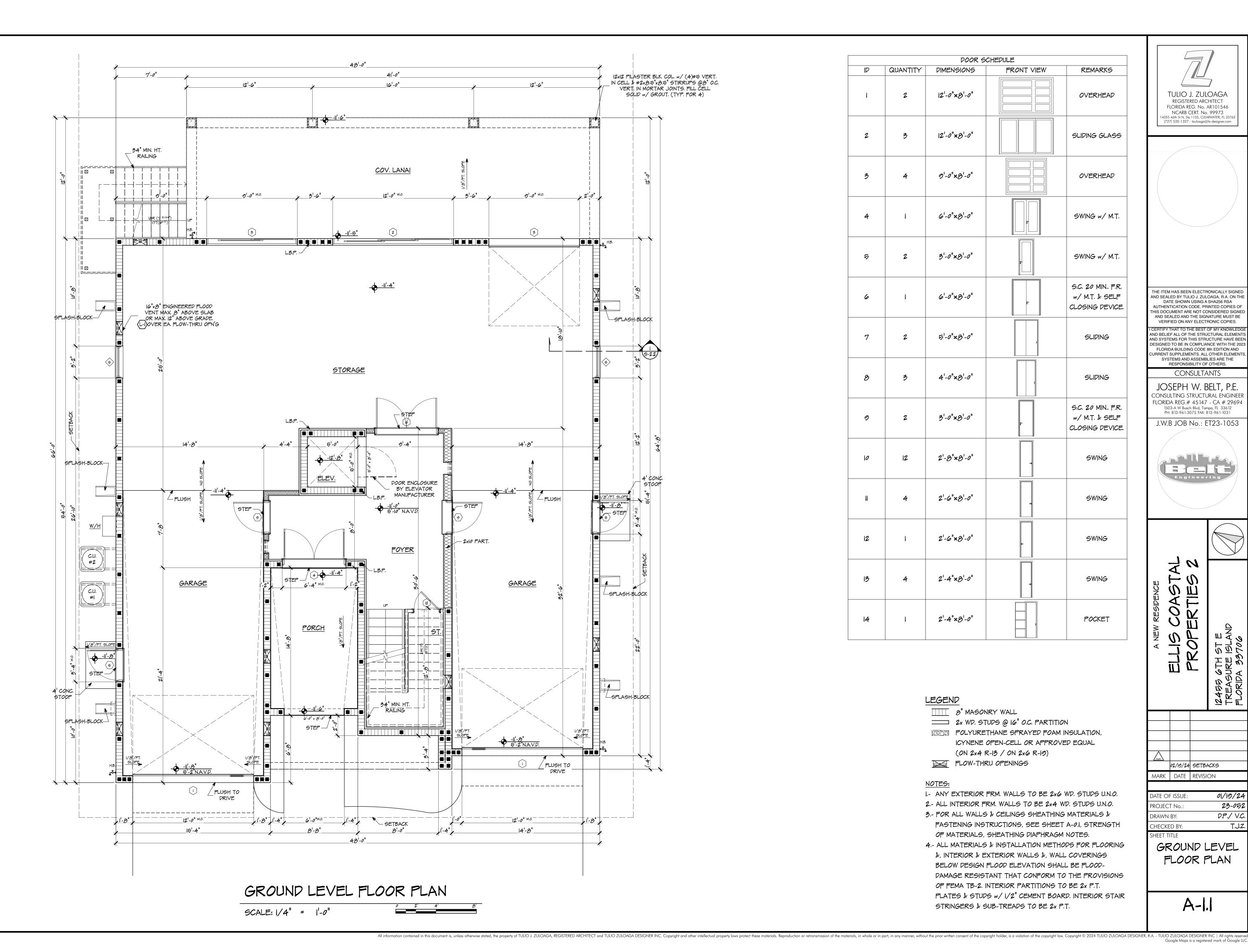


	02/19/24	SETBACKS	
ЛARK	DATE	revision	

DATE OF ISSUE:	01/19/24
PROJECT No.:	23-052
DRAWN BY:	D.P./ V.C
CHECKED BY:	T.J.Z
SHEET TITLE	

DRAINAGE PLAN

A-0.2



ID	QUANTITY	DOOR S	CHEDULE FRONT VIEW	REMARKS
ı	2	12'-0"×8'-0"		OVERHEAD
2	3	12'-0"×8'-0"		SLIDING GLASS
3	4	9'-0"×8'-0"		OVERHEAD
4	I	6'-0"×8'-0"		SWING w/ M.T.
Б	2	3'-0"×8'-0"		SWING w/ M.T.
6	I	6'-0"×8'-0"	3	S.C. 20 MIN F.R. w/ M.T. & SELF CLOSING DEVICE.
7	2	5'-0"×8'-0"		SLIDING
8	3	4'-0"×8'-0"		SLIDING
0	2	3'-0"×8'-0"	-	S.C. 20 MIN F.R. w/ M.T. & SELF CLOSING DEVICE.
10	12	2'-8"×8'-0"		SWING
II	4	2'-6"×8'-0"		SWING
12	I	2'-6"×8'-0"	9-	SWING
13	4	2'-4"×8'-0"		SWING
14	I	2'-4"×8'-0"		POCKET

LEGEND

₩ 8" MASONRY WALL

2x WD. STUDS @ 16" O.C. PARTITION

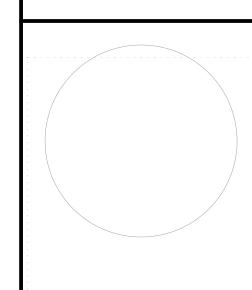
POLYURETHANE SPRAYED FOAM INSULATION, ICYNENE OPEN-CELL OR APPROVED EQUAL

(ON 2×4 R-13 / ON 2×6 R-19)

FLOW-THRU OPENINGS

- I.- ANY EXTERIOR FRM. WALLS TO BE 2x6 WD. STUDS U.N.O.
 - 2.- ALL INTERIOR FRM. WALLS TO BE 2x4 WD. STUDS U.N.O. 3.- FOR ALL WALLS & CEILINGS SHEATHING MATERIALS &
- FASTENING INSTRUCTIONS, SEE SHEET A-0.1, STRENGTH OF MATERIALS, SHEATHING DIAPHRAGM NOTES.
- 4.- ALL MATERIALS & INSTALLATION METHODS FOR FLOORING &, INTERIOR & EXTERIOR WALLS &, WALL COVERINGS BELOW DESIGN FLOOD ELEVATION SHALL BE FLOOD-DAMAGE RESISTANT THAT CONFORM TO THE PROVISIONS OF FEMA TB-2. INTERIOR PARTITIONS TO BE 2x P.T. PLATES & STUDS w/ 1/2" CEMENT BOARD. INTERIOR STAIR STRINGERS & SUB-TREADS TO BE 2x P.T.

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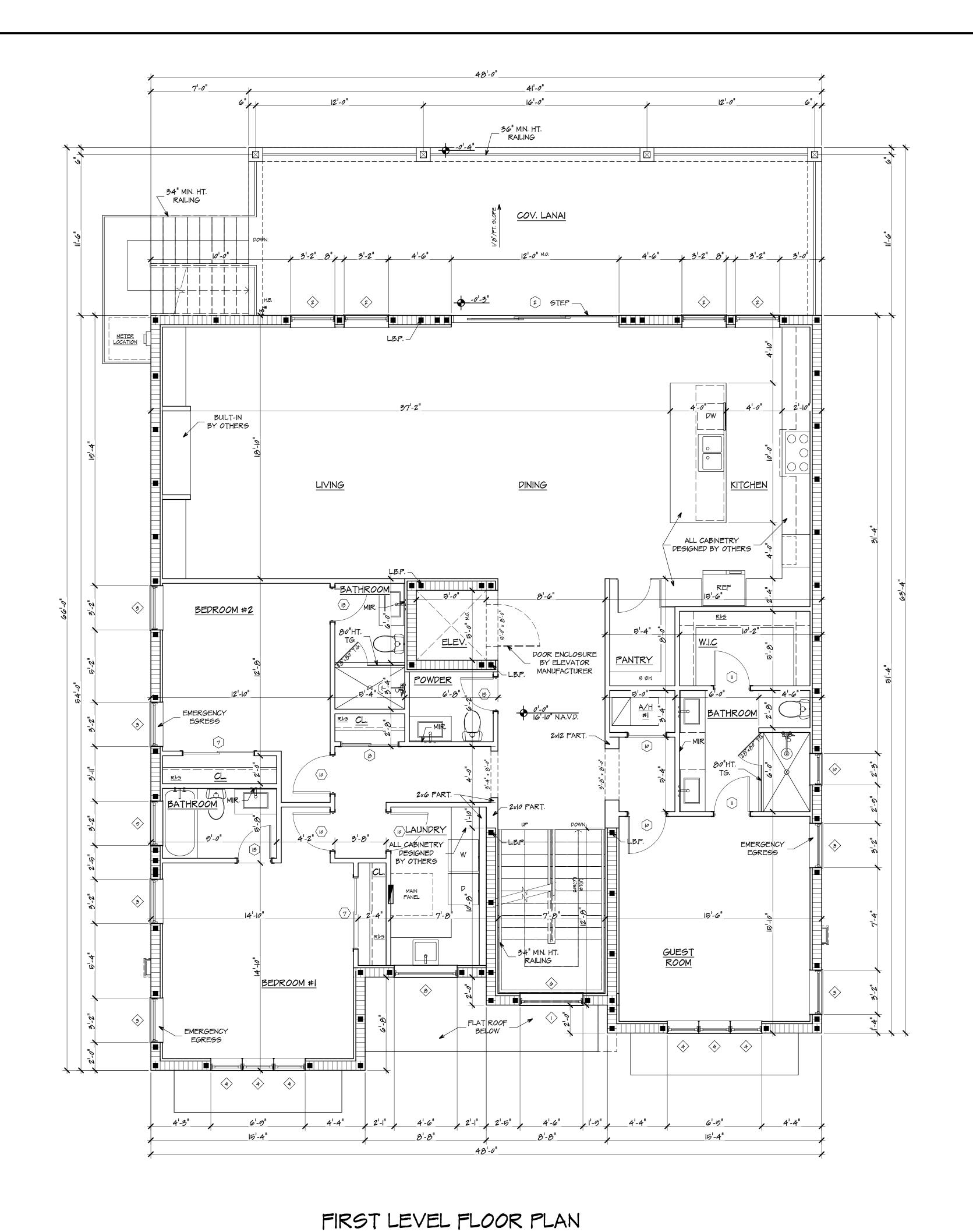
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T.J.Z.

CHECKED BY:

GROUND LEVEL FLOOR PLAN

A-1.1



SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE ID QUANTITY DIMENSIONS REMARKS FIXED, SAFETY 4'-5"×8'-5" **GLASS** 3'-1"×7'-0" FIXED 3'-1"×5'-2" CASEMENT 2'-2"×5'-2" FIXED 3'-1"×4'-2" CASEMENT 4'-5"×4'-0" FIXED FIXED TEMP. 4'-5"×2'-2" GLASS 4'-5"×2'-2" FIXED FIXED TEMP. 3'-1"×2'-2" GLASS FIXED TEMP. 2'-2"×2'-2" **GLASS**

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LEGEND ₩ 8" MASONRY WALL

2x WD. STUDS @ 16" O.C. PARTITION POLYURETHANE SPRAYED FOAM INSULATION, ICYNENE OPEN-CELL OR APPROVED EQUAL (ON 2×4 R-13 / ON 2×6 R-19)

FLOW-THRU OPENINGS

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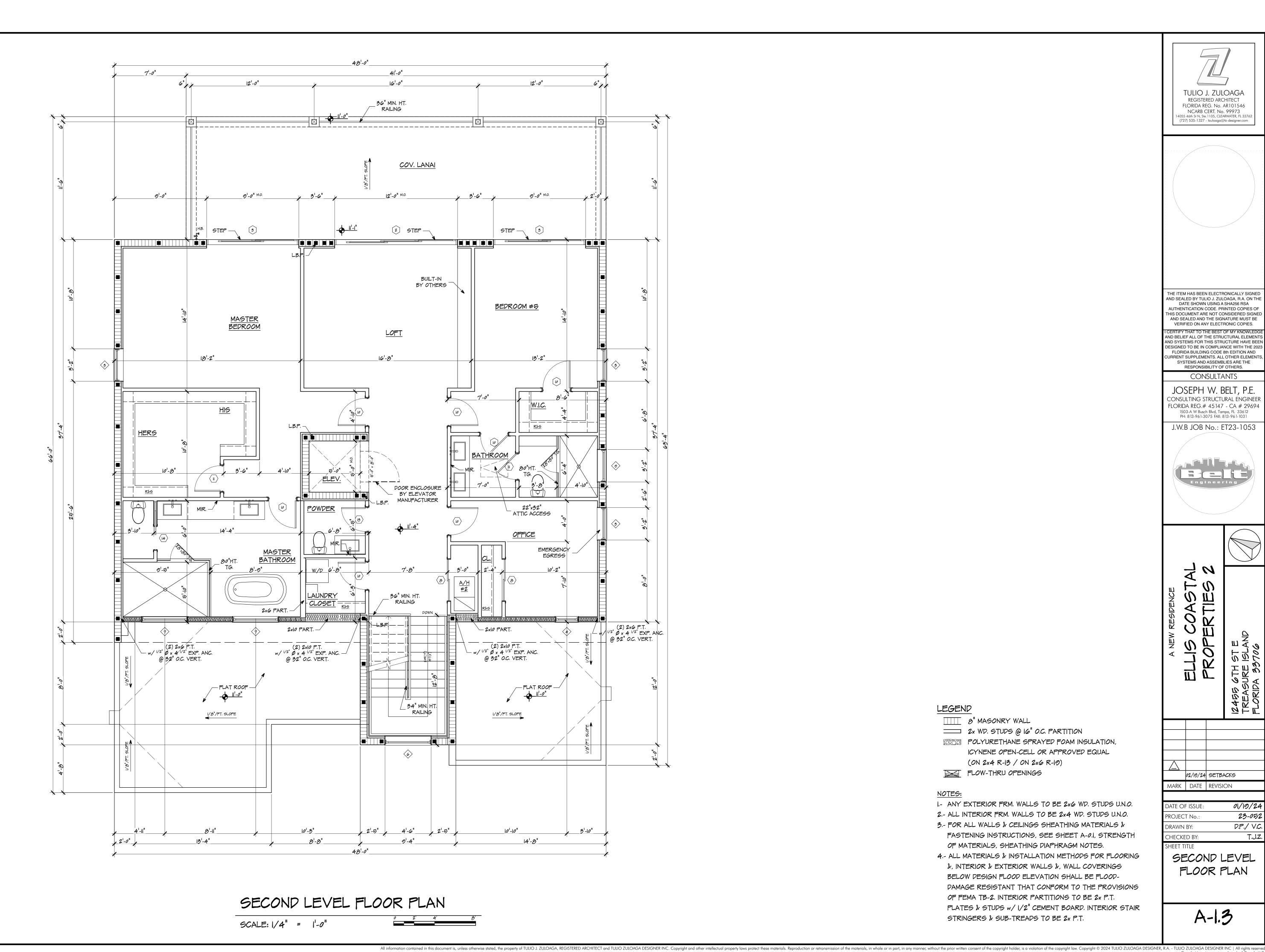
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02/19/24 SETBACKS MARK DATE REVISION

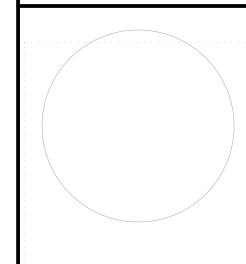
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> FIRST LEVEL FLOOR PLAN

> > A-1.2



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T.J.Z.

DRAWN BY: CHECKED BY:

SECOND LEVEL FLOOR PLAN

A-1.3

LEGEND

₩ 8" MASONRY WALL

2x WD. STUDS @ 16" O.C. PARTITION

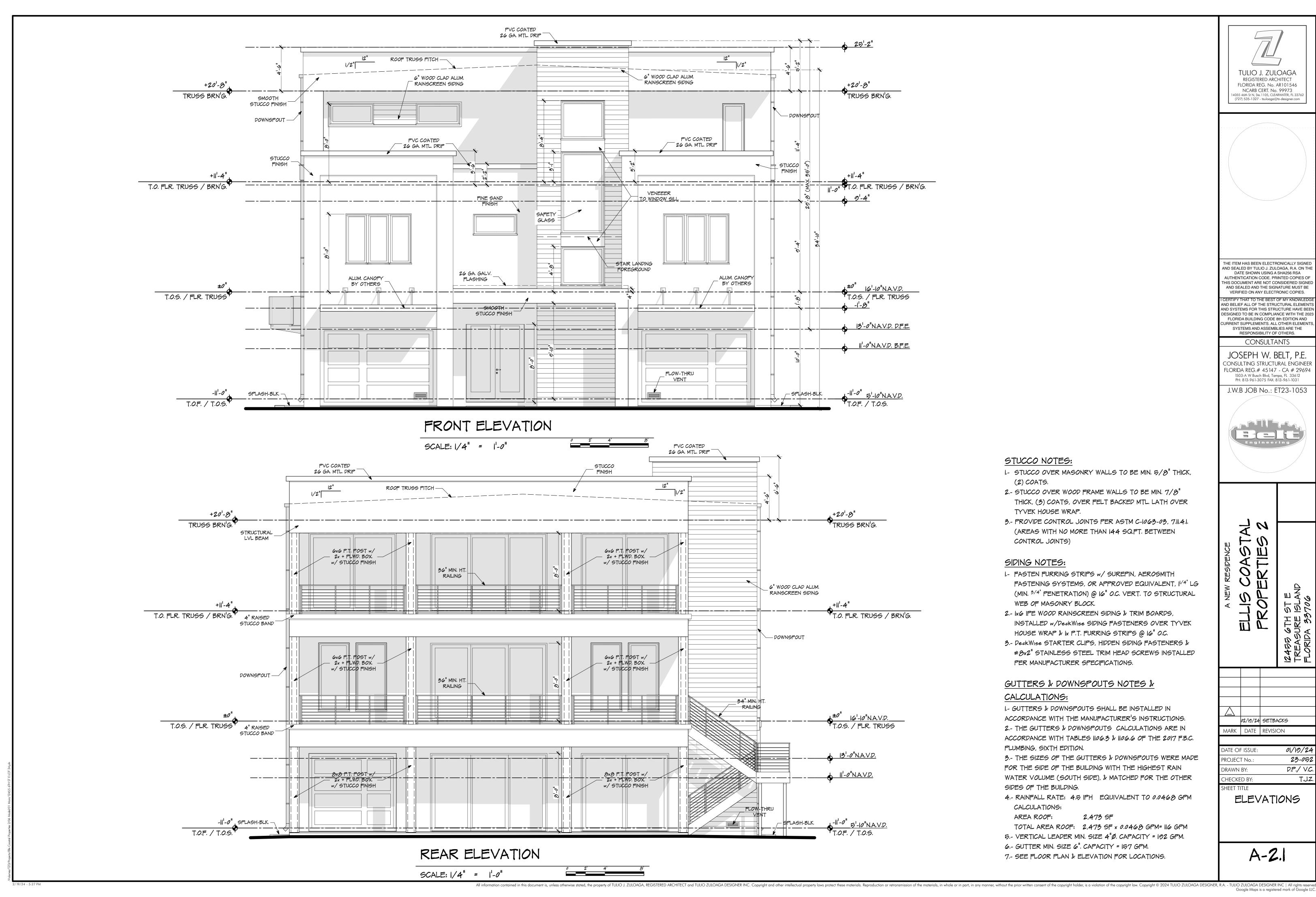
POLYURETHANE SPRAYED FOAM INSULATION, ICYNENE OPEN-CELL OR APPROVED EQUAL (ON 2×4 R-13 / ON 2×6 R-19)

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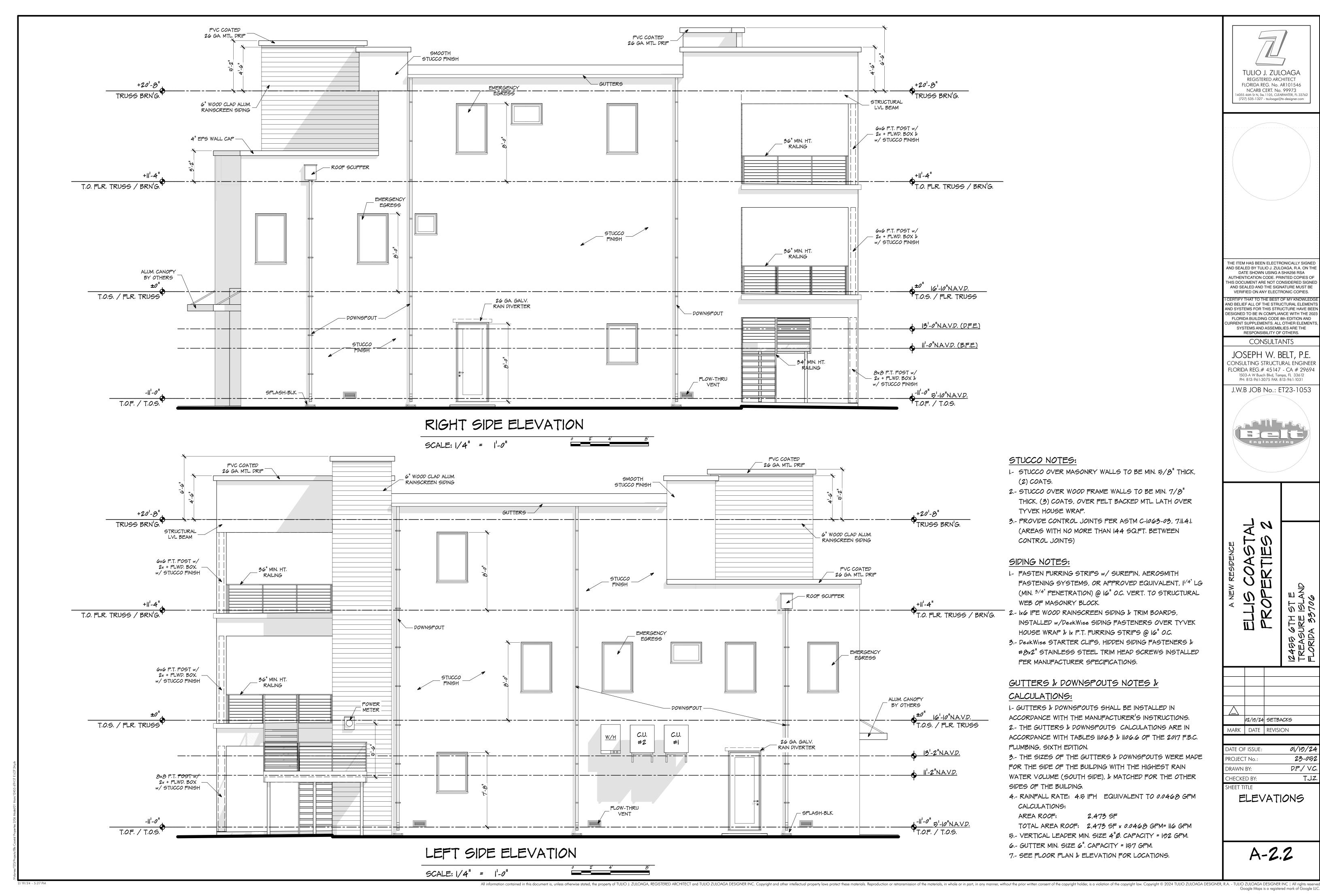
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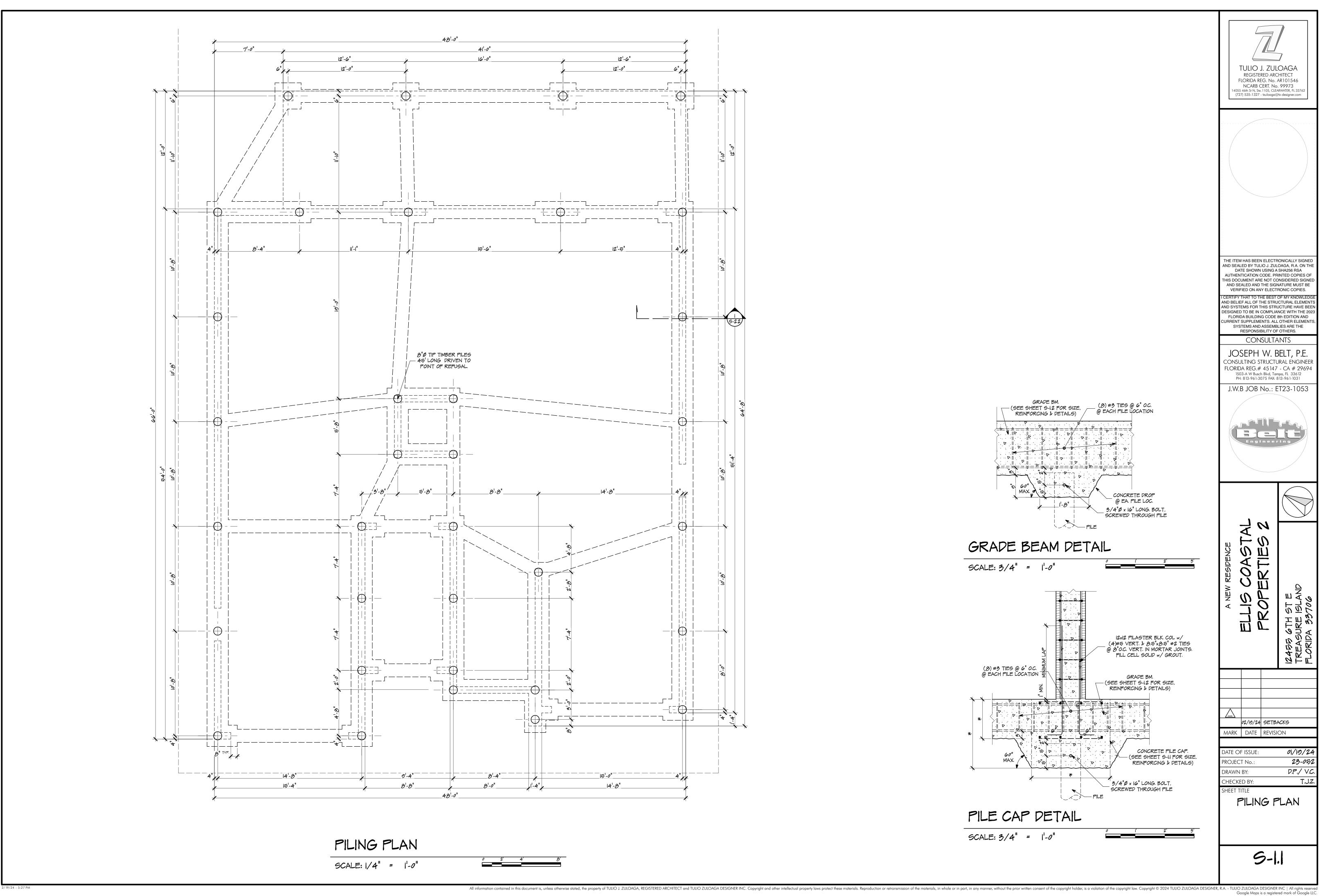
Consulting structural engineei FLORIDA REG.# 45147 - CA # 29694



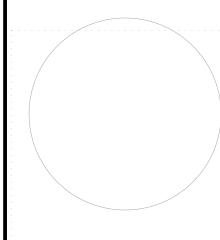
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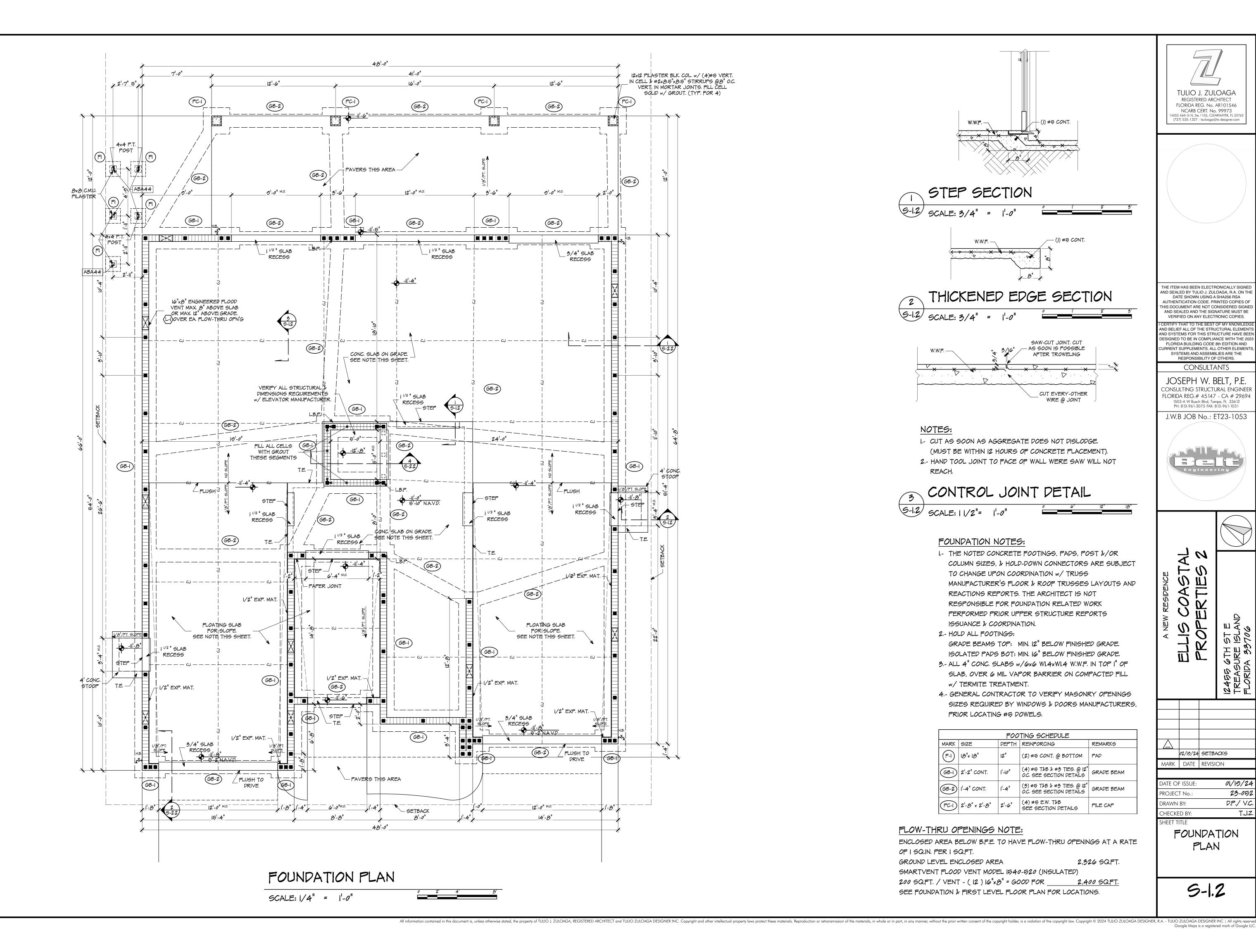
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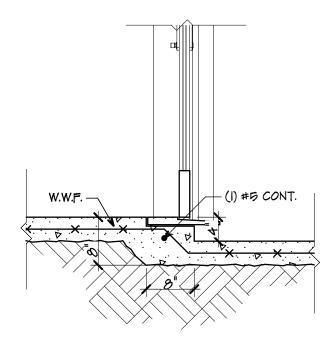


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	02/19/24	SETBACKS
MARK	DATE	REVISION

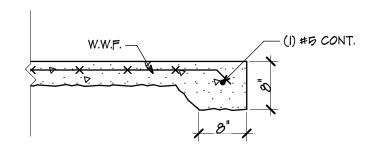
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PILING PLAN

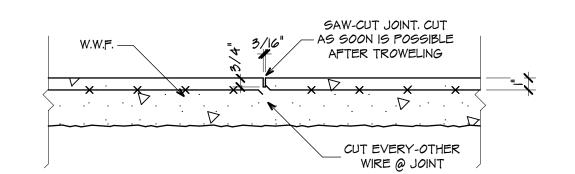








THICKENED EDGE SECTION



NOTES:

I.- CUT AS SOON AS AGGREGATE DOES NOT DISLODGE. (MUST BE WITHIN 12 HOURS OF CONCRETE PLACEMENT). 2.- HAND TOOL JOINT TO FACE OF WALL WERE SAW WILL NOT REACH.

CONTROL JOINT DETAIL S-1.2 SCALE: 11/2"= 1'-0"

FOUNDATION NOTES:

- I.- THE NOTED CONCRETE FOOTINGS, PADS, POST &/OR COLUMN SIZES, & HOLD-DOWN CONNECTORS ARE SUBJECT TO CHANGE UPON COORDINATION w/ TRUSS MANUFACTURER'S FLOOR & ROOF TRUSSES LAYOUTS AND REACTIONS REPORTS. THE ARCHITECT IS NOT RESPONSIBLE FOR FOUNDATION RELATED WORK PERFORMED PRIOR UPPER STRUCTURE REPORTS ISSUANCE & COORDINATION.
- 2.- HOLD ALL FOOTINGS: GRADE BEAMS TOP: MIN. 12" BELOW FINISHED GRADE. ISOLATED PADS BOT: MIN. 16" BELOW FINISHED GRADE. 3.- ALL 4" CONC. SLABS w/6x6 WI.4xWI.4 W.W.F. IN TOP I" OF
- SLAB, OVER 6 MIL VAPOR BARRIER ON COMPACTED FILL w/ TERMITE TREATMENT. 4.- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS

PRIOR LOCATING #5 DOWELS.

	FOOTING SCHEDULE					
MARK	SIZE	DEPTH	REINFORCING	REMARKS		
F-I	18"× 18"	12"	(2) #5 CONT. @ BOTTOM	PAD		
GB-I	2'-2" CONT.	1'-10"	(4) #5 T&B & #3 TIES. @ 12" O.C. SEE SECTION DETAILS	GRADE BEAM		
GB-2	1'-4" CONT.	1-4"	(3) #5 T&B & #3 TIES. @ 12" O.C. SEE SECTION DETAILS	GRADE BEAM		

(4) #5 E.W. T&B SEE SECTION DETAILS

SIZES REQUIRED BY WINDOWS & DOORS MANUFACTURERS,

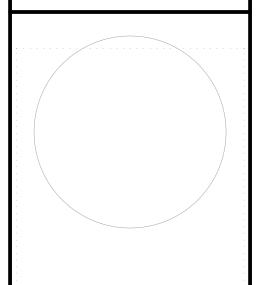
FLOW-THRU OPENINGS NOTE:

PC-1 2'-8" × 2'-8" | 2'-6"

ENCLOSED AREA BELOW B.F.E. TO HAVE FLOW-THRU OPENINGS AT A RATE OF I SQ.IN. PER I SQ.FT.

GROUND LEVEL ENCLOSED AREA 2,326 SQ.FT. SMARTVENT FLOOD VENT MODEL 1540-520 (INSULATED) 200 SQ.FT. / VENT - (12) 16"x8" = GOOD FOR _ SEE FOUNDATION & FIRST LEVEL FLOOR PLAN FOR LOCATIONS.

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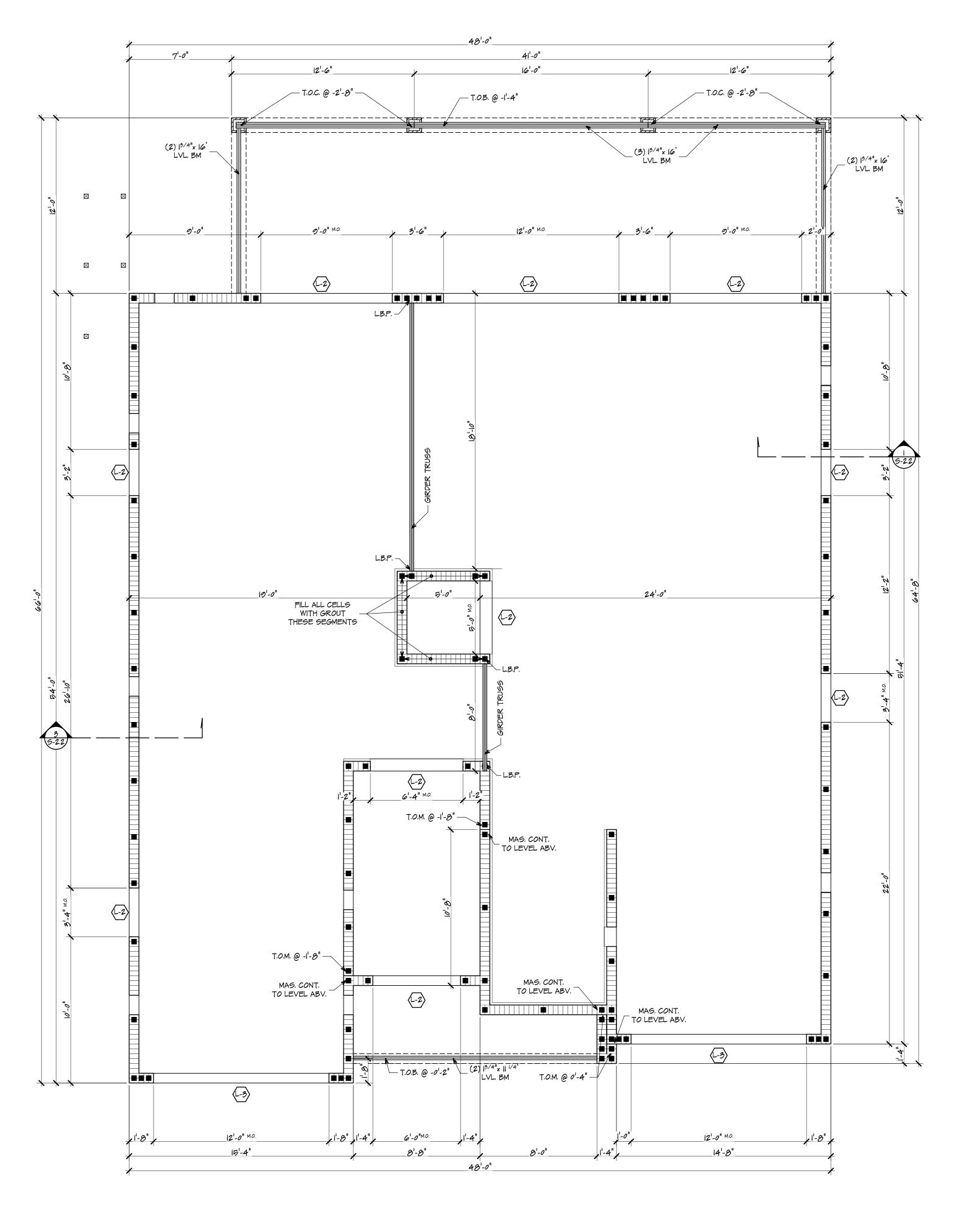
J.W.B JOB No.: ET23-1053

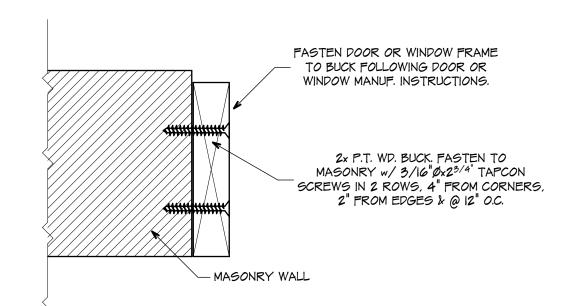


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PROJECT No.:	23-05
DRAWN BY:	D.P./ V.
CHECKED BY:	T.J.:

FOUNDATION PLAN





TYP. BUCK TO MAS. WALL DETAIL

SCALE: 3" = |1-0"

|/2"øx6" 'J' BOLTS OR |/2"øx6" WEDGE ANCHOR
@ 24" O.C. & 2.5" MIN. FROM EDGES. USE MIN.
(3) |/2"Ø A.B. FOR DOORS UP TO 9'-0" WIDE & MIN.
(4) |/2"Ø A.B. FOR DOORS |0'-0" & UP TO |8'-0" WIDE.

| CONT. WOOD TRIM
| CONT. WOOD TRIM
| PASTEN DOOR FRAME
| TO BUCK FOLLOWING GARAGE DOOR

GARAGE DOOR TRACK DETAIL

SCALE: 11/2"= 1'-0"

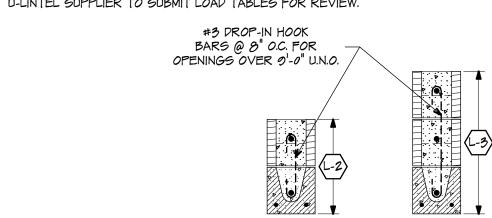
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MANUF. INSTRUCTIONS.

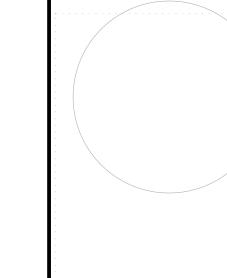
MASONRY NOTES:

- I.- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS SIZES REQUIRED BY WINDOWS & DOORS MANUFACTURERS, PRIOR LOCATING #5 DOWELS.
- 2.- INDICATES REINFORCED CELL w/ (1)#5 TIED TO FOOTING, HOOK & LAP TO CONT. REINF. IN BOND BM. @ EA. SIDE OF OPN'GS, CORNERS, INTERSECTIONS, TRUSS GIRDER LOCS., & @ 48" O.C. MAX. OR WHERE INDICATED.
- 3.- ID INDICATES REINFORCED CELL w/ (1)#5 TIED TO FOOTING, 25" HOOK @ TOP TO LAP TO TOP OF KNEE WALL REINFORCING OR BENT OVER FLOOR SLAB & LAP 24" MIN. TO W.M. @ 72" O.C. MAX. OR WHERE INDICATED.

CAST-CRETE OR EQUAL			
REMARKS			
(I) #5 B. (I)#5 CONT. K.O. BLK. COURSE ABOVE			
(I) #5 B. (I)#5 CONT. EA. K.O. BLK. COURSE ABOVE			







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1503-A W Busch Blvd, Tampa, FL 33612
PH: 813-961-3075 FAX: 813-961-1031

J.W.B JOB No.: ET23-1053



A NEW RESIDENCE

JO COASTAL

OPERTIES 2

12455 6TH ST E TREASURE ISLAI FLORIDA 33706

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	02/19/24	SETBACKS
1ARK	DATE	revision

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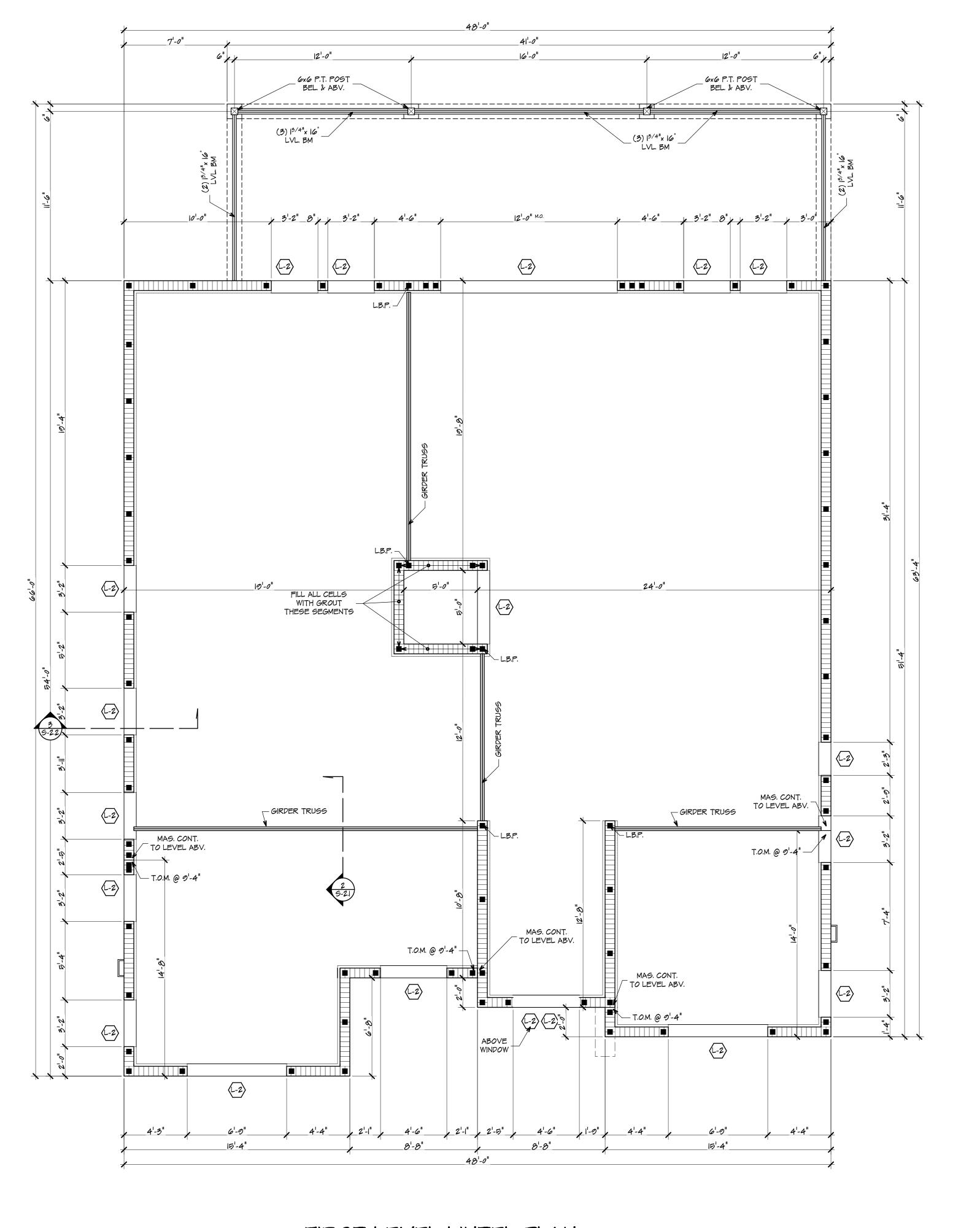
GROUND LEVEL LINTEL PLAN

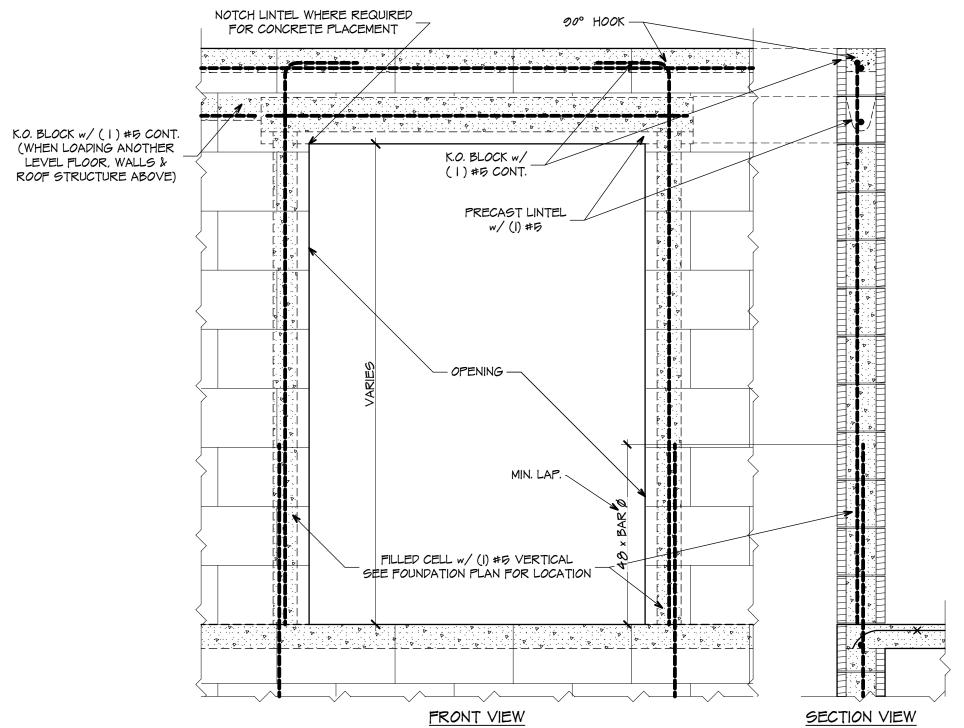
9-1.3

GROUND LEVEL LINTEL PLAN

SCALE: 1/4" = 1'-0"

0 2' 4' 8'





NOTES:

I.- FILL LINTEL & CELLS ABOVE LINTEL.

2.- VERIFY THAT ALL REINFORCEMENT HAS BEEN PLACED PROPERLY.

3.- SEE FLOOR PLAN FOR ADDITIONAL INFORMATION. 4.-LINTELS OVER OPENINGS LESS THAN OR EQUAL TO 4'-0" IN WIDTH DO NOT REQUIRE ADDITIONAL STEEL REINFORCEMENT UNLESS NOTED OTHERWISE.

TYP. MAS. OPN'G. DETAILS

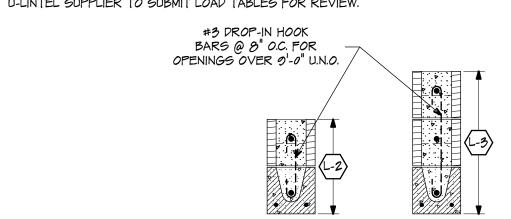
SCALE: 3/4" = 1'-0"

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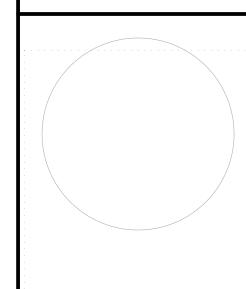
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	U-LINTE	L SCHEDULE
	ALL LINTELS BY	CAST-CRETE OR EQUAL
MARK	MANUFACTURER DESIGNATION	REMARKS
(L-2)	8F16-1B/IT	(I) #5 B. (I)#5 CONT. K.O. BLK. COURSE ABOVE
(L-3)	8F24-IB/IT	(I) #5 B. (I)#5 CONT. EA. K.O. BLK. COURSE ABOVE
ULINTE	I GUPPLIER TO GURMIT LOAD TARLE	G EAR REVIEW



TULIO J. ZULOAGA REGISTERED ARCHITECT FLORIDA REG. No. AR101546 NCARB CERT. No. 99973 14055 46th St N, Ste.1105, CLEARWATER, FL 337 (727) 535-1327 - tzuloaga@tz-designer.com



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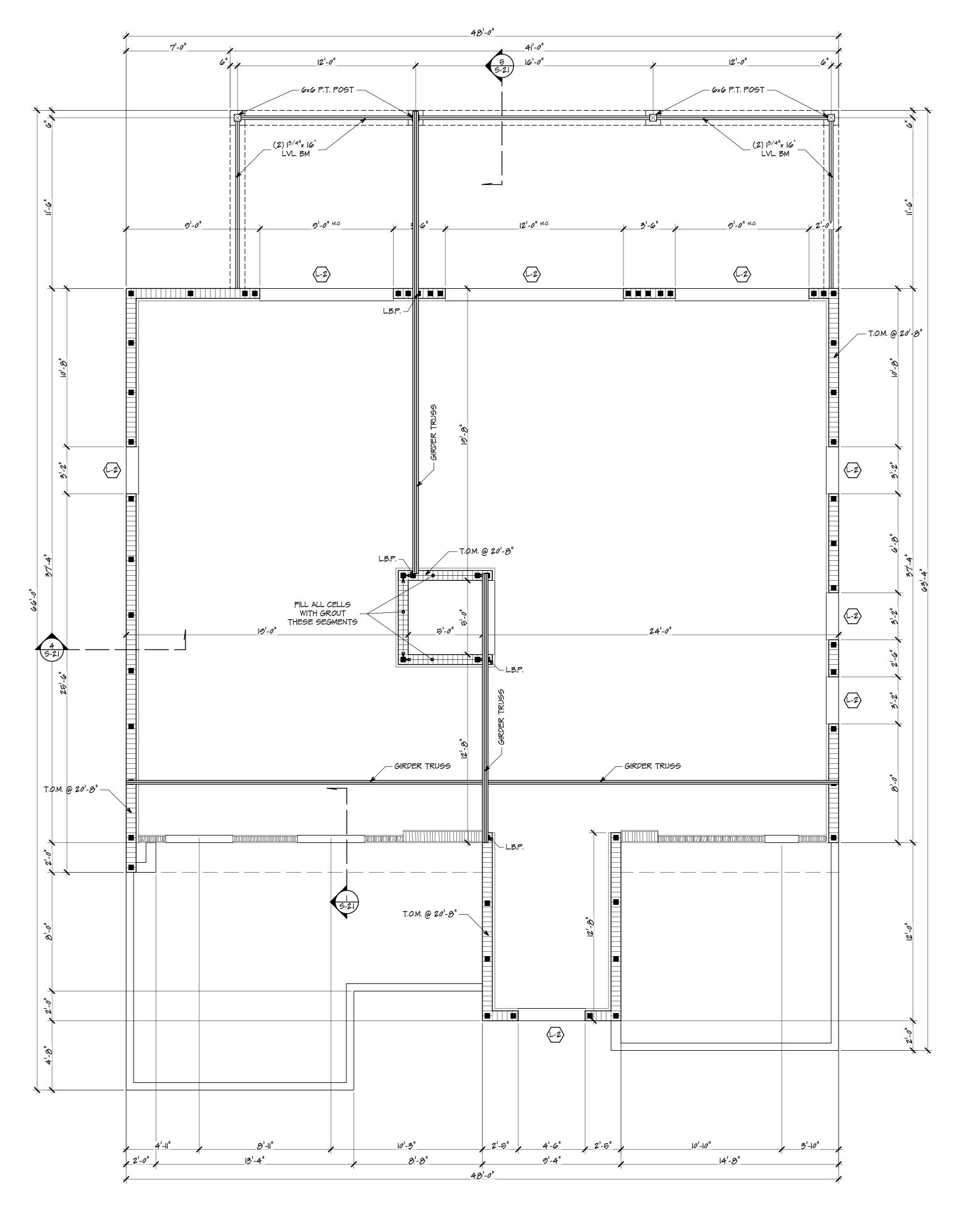
01/19/24 DATE OF ISSUE: 23-052 PROJECT No. DRAWN BY: T.J.Z.

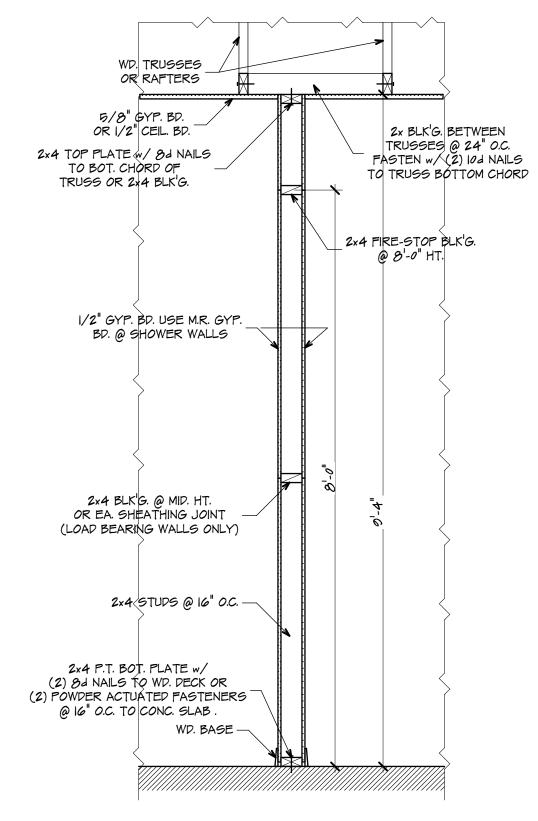
> FIRST LEVEL LINTEL PLAN

> > 9-1.4

FIRST LEVEL LINTEL PLAN

SCALE: 1/4" = 1'-0"





INTERIOR PARTITION

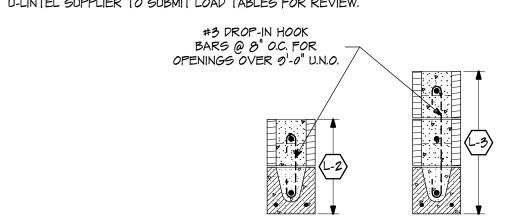
SCALE: 3/4" = 1'-0"

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MARK	MANUFACTURER DESIGNATION	REMARKS	
(L-Z)	8FI6-IB/IT	(I) #5 B. (I)#5 CONT. K.O. BLK. COURSE ABOVE	
(I) #6 B. (I)#6 CONT. EA. K.O. BLK. COURSE ABOVE			





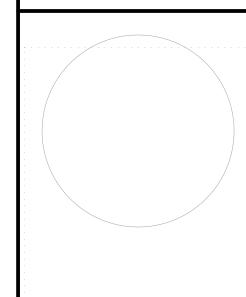
SCALE: 1/4" = 1'-0"

TULIO J. ZULOAGA

REGISTERED ARCHITECT
FLORIDA REG. No. AR101546

NCARB CERT. No. 99973

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J.W.B JOB No.: ET23-1053



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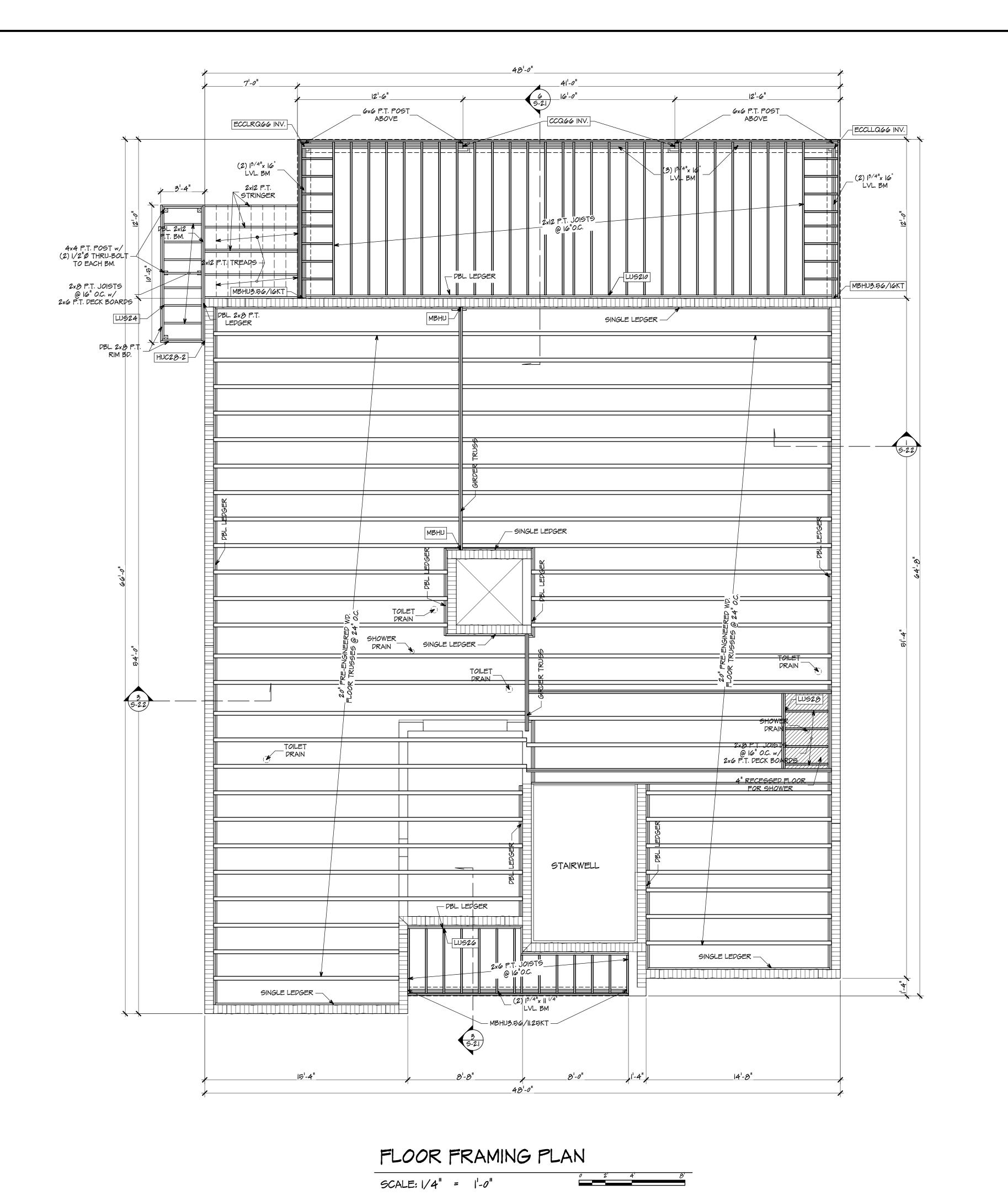
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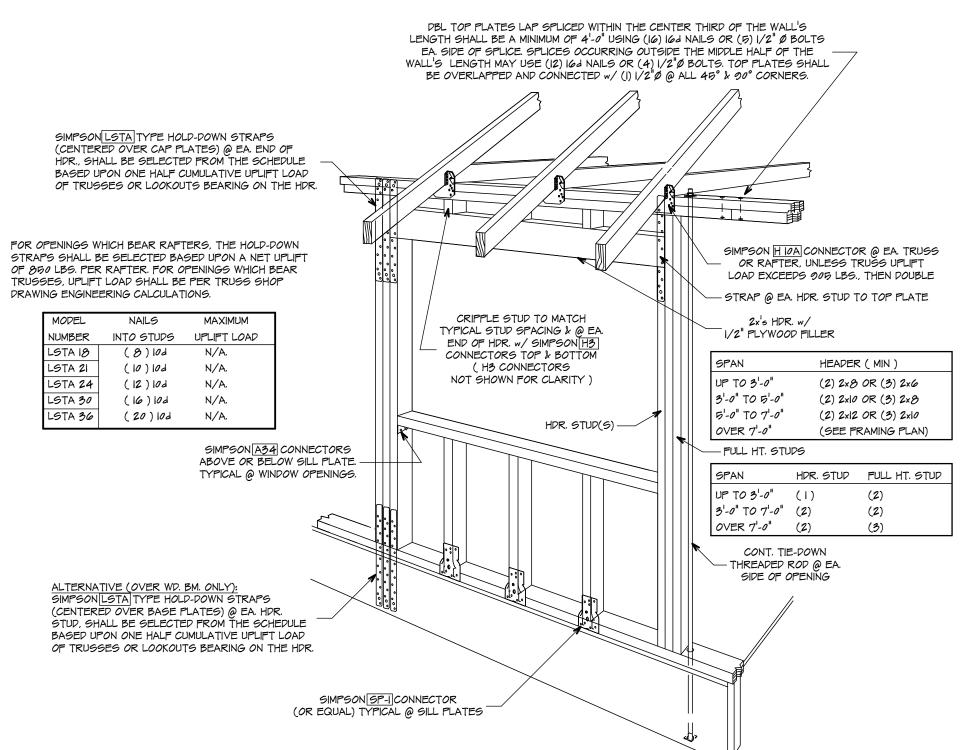
 PROJECT No.:
 23-052

 DRAWN BY:
 D.P./ V.C.

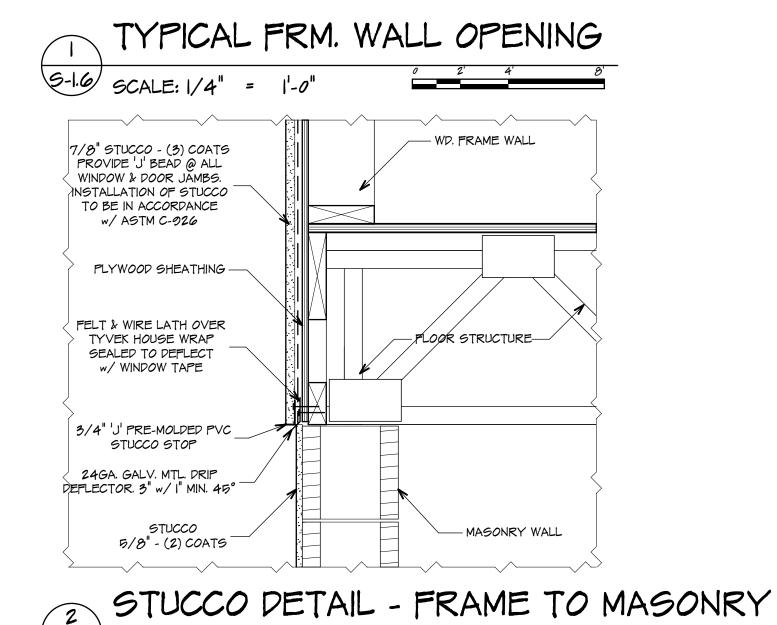
 CHECKED BY:
 T.J.Z.

SECOND LEVEL
LINTEL PLAN

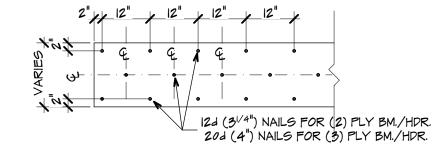




CONT. TIE-DOWN SYSTEM



BEAMS & HEADERS CONNECTION DIAGRAM



LEDGER NOTES:

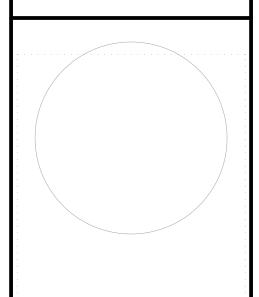
- I.- DOUBLE LEDGER TO MASONRY OR CONCRETE: (1) 2x|2 P.T. + (1) 2x|2 REG. LEDGER w/(2) 5/8 x 6
- LG. EXP. ANC., FOR A MIN. OF 3" EMBED, STAGGERED @ 24" O.C. USE (2) 2x P.T. BELOW B.F.E.
- 2.- SINGLE LEDGER (PLWD. DECK NAILER) TO MASONRY OR CONCRETE:
- 2×8 P.T. LEDGER w/(1) 1/2" $0 \times 4^{1/2}$ " EXP. ANC. @ 48" O.C. 3.- SINGLE LEDGER TO WOOD FRAME / TRUSSES: 2x12 CONT. w/(2) 5/8"Øx41/2" LAG SCREWS STAGGERED @
- 4.- PLWD. DECK NAILER TO WOOD FRAME / TRUSSES: 2x8 CONT. w/(1)1/2" $Øx4^{1/2"}$ LAG SCREWS @ MAX. 48" O.C. 4.- PROVIDE FULL BED OF CONSTRUCTION ADHESIVE OR (1)1/2"Ø THRU-BOLTS @ MAX. 48" O.C.

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MAX. 32" O.C. OR (2) 1/2"Ø THRU-BOLTS @ MAX. 32" O.C.

- I.- CONNECTION DIAGRAM SHOWN IS TYPICAL FOR ALL MULTIPLY LVL BEAMS, (2)2x+1/2" PLWD. OR (3)2x+1/2" PLWD. BEAMS & HEADERS UNLESS NOTED OTHERWISE ON TRUSS MANUFACTURER'S BEAMS CALCULATIONS.
- 2.- FASTENING PATTERN SHOWN IS TO BE STAGGERED ON OPPOSITE SIDE OF BEAM OR HEADER.
- 3.- VERIFY SIZE OF LVL BEAMS, NUMBER OF PLIES & CONNECTIONS w/ MANUFACTURER'S ENGINEERED ROOF TRUSS PACKAGE.
- BETWEEN ALL PLYS.

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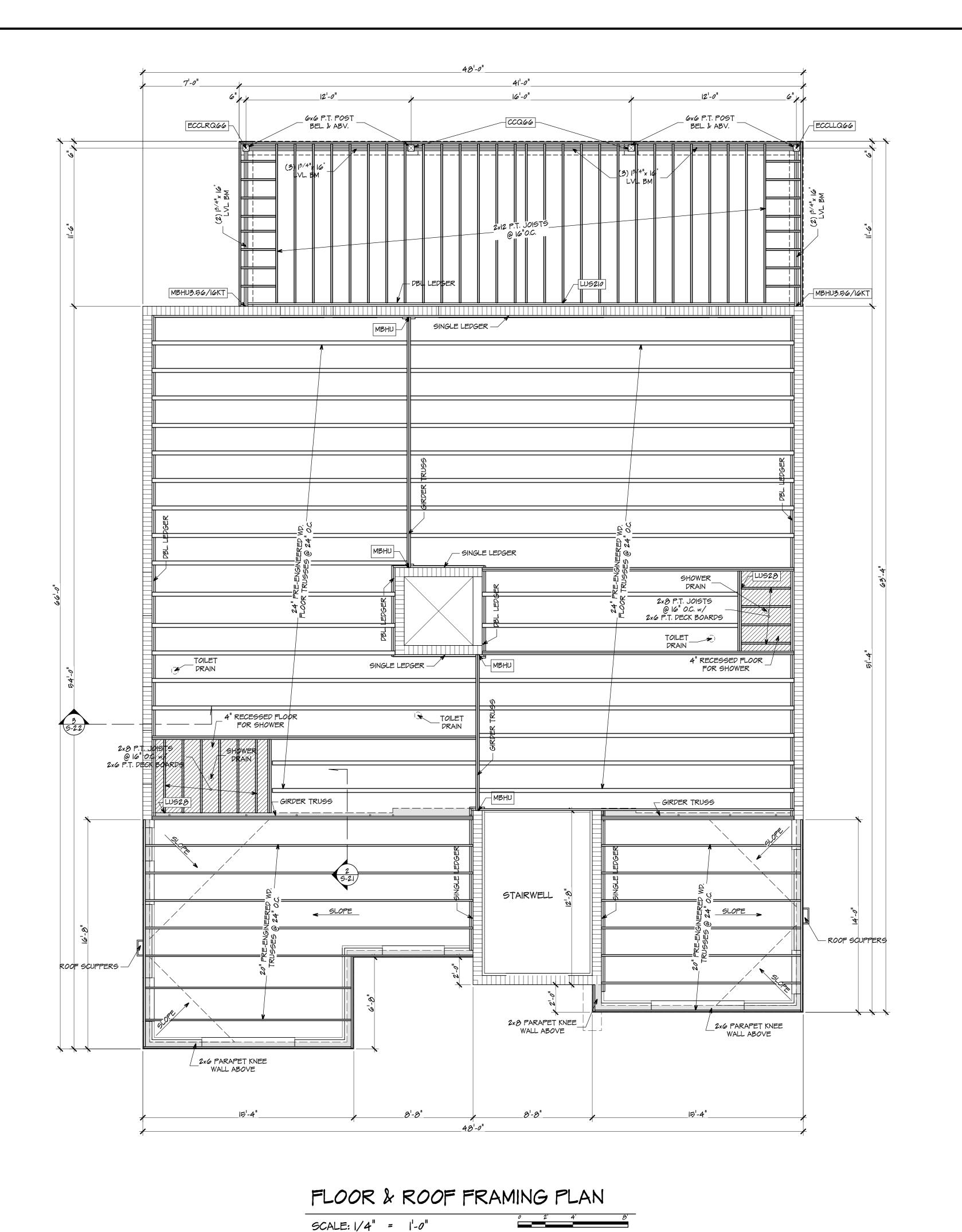
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PR	OJECT No.:	23-05
DR	AWN BY:	D.P./ V.
CH	HECKED BY:	T.J.:

FLOOR FRAMING PLAN



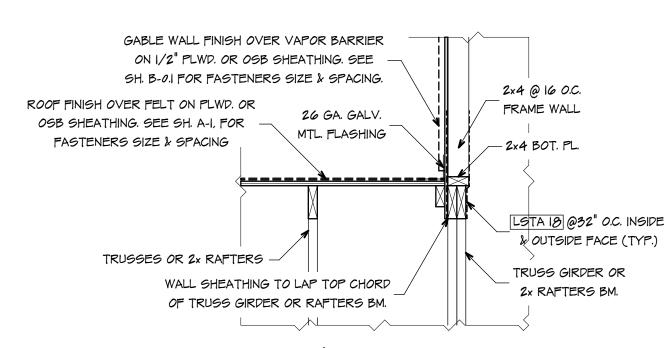
FLOOR & ROOF TRUSSES NOTES:

- I.- THE NOTED POST &/OR COLUMN SIZES, DETAILS &
 CONNECTORS ARE SUBJECT TO CHANGE UPON
 COORDINATION w/ TRUSS MANUFACTURER'S FLOOR &
 ROOF TRUSSES LAYOUTS AND REACTIONS REPORTS. THE
 ARCHITECT IS NOT RESPONSIBLE FOR RELATED WORK
 PERFORMED PRIOR UPPER STRUCTURE REPORTS
 ISSUANCE & COORDINATION.
- 2.- FOR LVL BEAMS, TRUSSES & GIRDER CONNECTIONS TO WALLS NOT INDICATED IN THIS PLAN, REFER TO TRUSS ANCHOR SCHEDULE & TRUSS GIRDER TIE-DOWN SCHEDULE, ON THIS SHEET.
- 3.- TRUSS MANUFACTURER TO PROVIDE VERTICAL WEB MEMBERS AT ALL INTERMEDIATE GIRDER TRUSSES BEARINGS FOR CONNECTORS FASTENERS.
- 4.- RIGID CEILING @ TRUSS BOTTOM CHORDS. TRUSS
 MANUFACTURER TO SPECIFY BOTTOM CHORD TRUSS
 BRACING MEMBERS, LOCATIONS AND CONNECTIONS AS
 REQUIRED.
- 5.- ALL TRUSS ENGINEERING, PLACEMENT, DIMENSIONS, SIZE
 OF MEMBERS AND TRUSS-TO-TRUSS CONNECTIONS TO BE
 DETERMINED BY TRUSS MANUFACTURER. SUBMIT CUT
 SHEETS OF CONNECTION HARDWARE FOR STRUCTURAL
 REVIEW PRIOR FABRICATION.
- 6.- IF FINAL TRUSS LAYOUT DIFFERS FROM THE PRELIMINARY LAYOUT, PROVIDE ARCHITECT WITH REVISED LAYOUT FOR SUPERSTRUCTURE REDESIGN.

MASONRY -	TRUSS	ANCHOR	
		BY "91	MPSON" OR EQUAL
MODEL NUMBER	SEAT NAILS	STRAP NAILS	UPLIFT (LB.)
HETA 12	N/A	(5) lod x 1½"	<745
HETA 16	N/A	(10) 10d x 11/2"	(1.365
HETA 20	N/A	(15) 10d x 1½"	(1,800

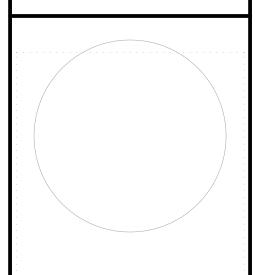
MASONRY -	TRUS		TEDOWN MPSON" OR EQUAL
# OF TRUSS PLIES	MODEL	ANCHOR BOLTS	UPLIFT (LB.)
ı	MGT	(1) 5/8" Ø	(3.965
2	HGT-2	(2) 3/4" Ø	(10,980
3	HGT-3	(2) 3/4" Ø	(10.530
4	HGT-4	(2) 3/4" Ø	(9.250

W	D. FRAN	1E - TRU99 &		TIE-DOWN ON" OR EQUAL
# (OF PLIES	MODEL NUMBER	FASTENERS	UPLIFT (LB.)
I TRUSS		н	PER SPEC.	< 400
		H 10A	PER SPEC.	< 1.015
		H 14	PER SPEC.	< 1,050
	2	H 10A-2	PER SPEC.	< 655
TRUSS	2	H 16-2	PER SPEC.	< 1.470
אַן	2	LGT2	PER SPEC.	< 2.050
SIRPER	2	MGT w/HDUB	PER SPEC.	< 3.965
OR B	2	HGT-2 w/(2)HTT5	PER SPEC.	< 10,080
	3	HGT-3 w/(2)HTT5	PER SPEC.	< 10,530
	4	HGT-4 w/(2)HTT5	PER SPEC.	< 9.250



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 01/19/24

 PROJECT No.:
 23-052

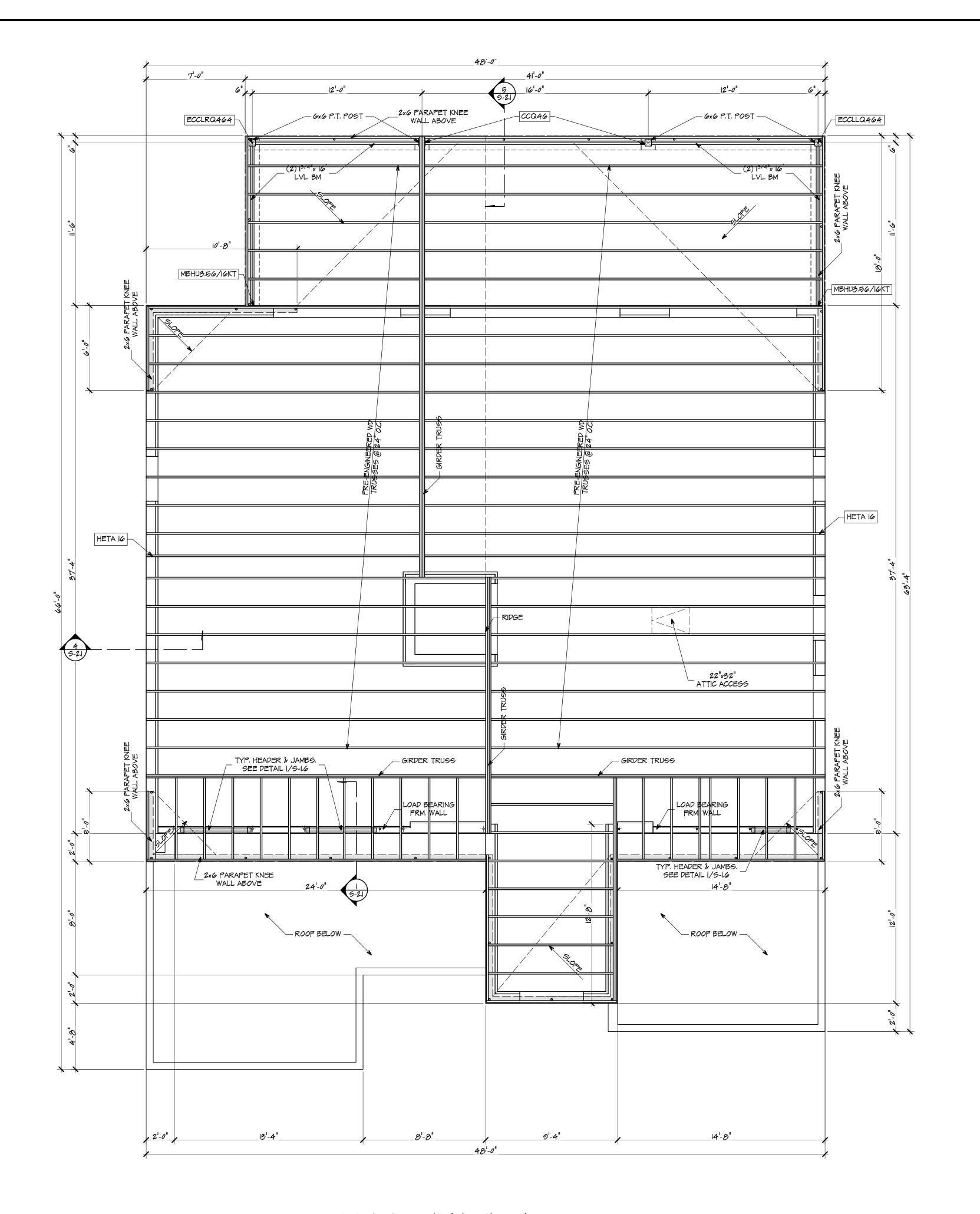
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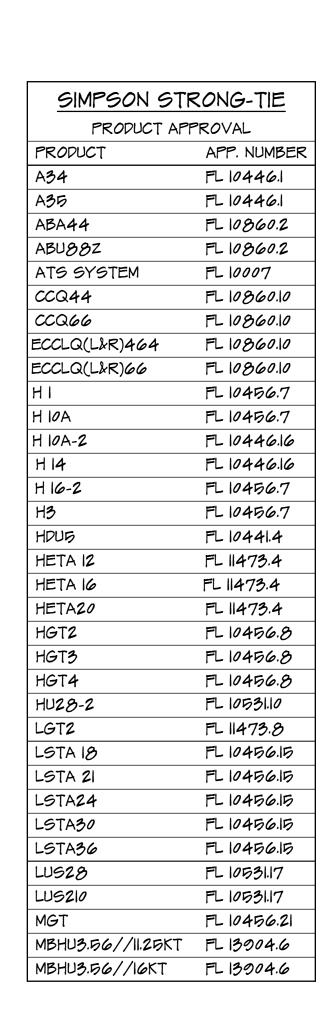
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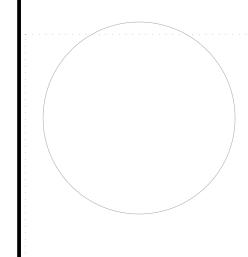
FLOOR & ROOF FRAMING PLAN





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SHIP WITH EIGHT

3200# ALLOWABLE ROD TENSION

SHIP WITH EIGHT

0 0 0 0

1600# ALLOWABLE ROD TENSION

BASE MOUNT THREADED

ROD CONNECTOR

SCALE: NONE

CONTINUOUS THREADED ROD SYSTEM TO ANCHOR WOOD

2.- CONNECTION TO MASONRY OR CONCRETE: SET THREADED

I.- RECOMMENDED TIE-DOWN SYSTEM TO BE Ø 1/2"

STUD WALLS, WOOD FLOOR & ROOF FRAMING, TO

DOWEL w/WASHER & NUT MIN. 6" INTO K.O. BLK OR

CONCRETE BEAM, BEFORE POURING. FOR RETROFIT

3.- INDICATES TIE-DOWN LOCATION FROM MASONRY TO

TRUSS TO TOP PLATE OF WOOD FRAME WALL.

TOP PLATE OF WOOD FRAME WALL.

6'-0" O.C. THROUGH WALL SEGMENTS.

APPLICATIONS, DRILL 6" & EMBED THREADED DOWEL w/

4.-- INDICATES TIE-DOWN LOCATION FROM BEAM, GIRDER OR

5.- (I) THREADED ROD @ EA. CORNER, @ EACH END OF WALL

SEGMENT, @ EA. END OF OPENINGS 6'-0" OR WIDER & @

TIE-DOWN SYSTEM NOTES:

MASONRY & FOUNDATION.

EPOXY.

__ SIMPSON 1/4×2 1/2" SDS

SIDE MOUNT THREADED

ROD CONNECTOR

__FULLY WELPEP __I/2-13 COUPLING

PL 1/4x2 1/2x01-4"

SCALE: NONE

_SIMPSON 1/4×2 1/2" SDS

FULLY WELDED

-1/2-13 COUPLING

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J.W.B JOB No.: ET23-1053



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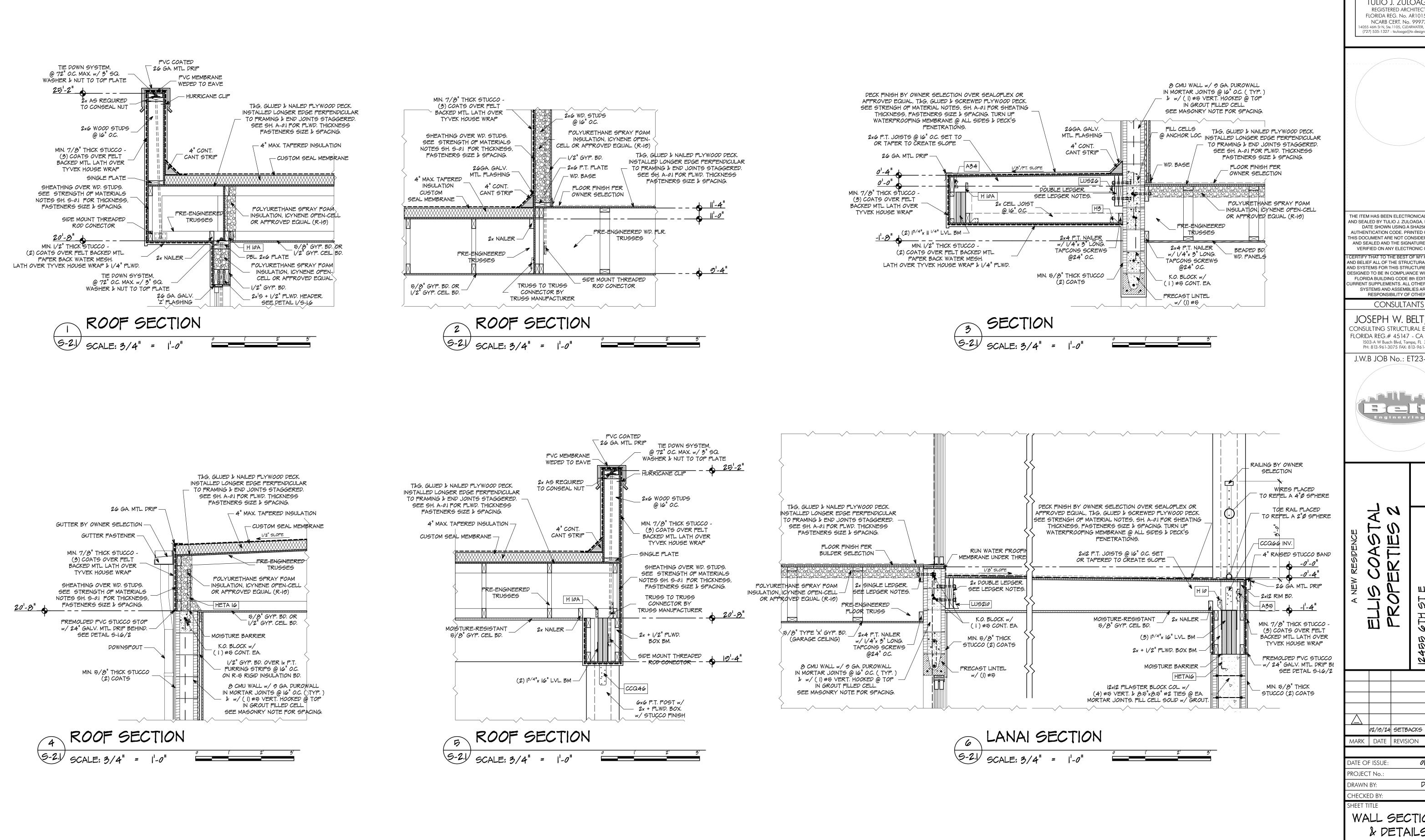
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> ROOF FRAMING PLAN

> > 9-1.8

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



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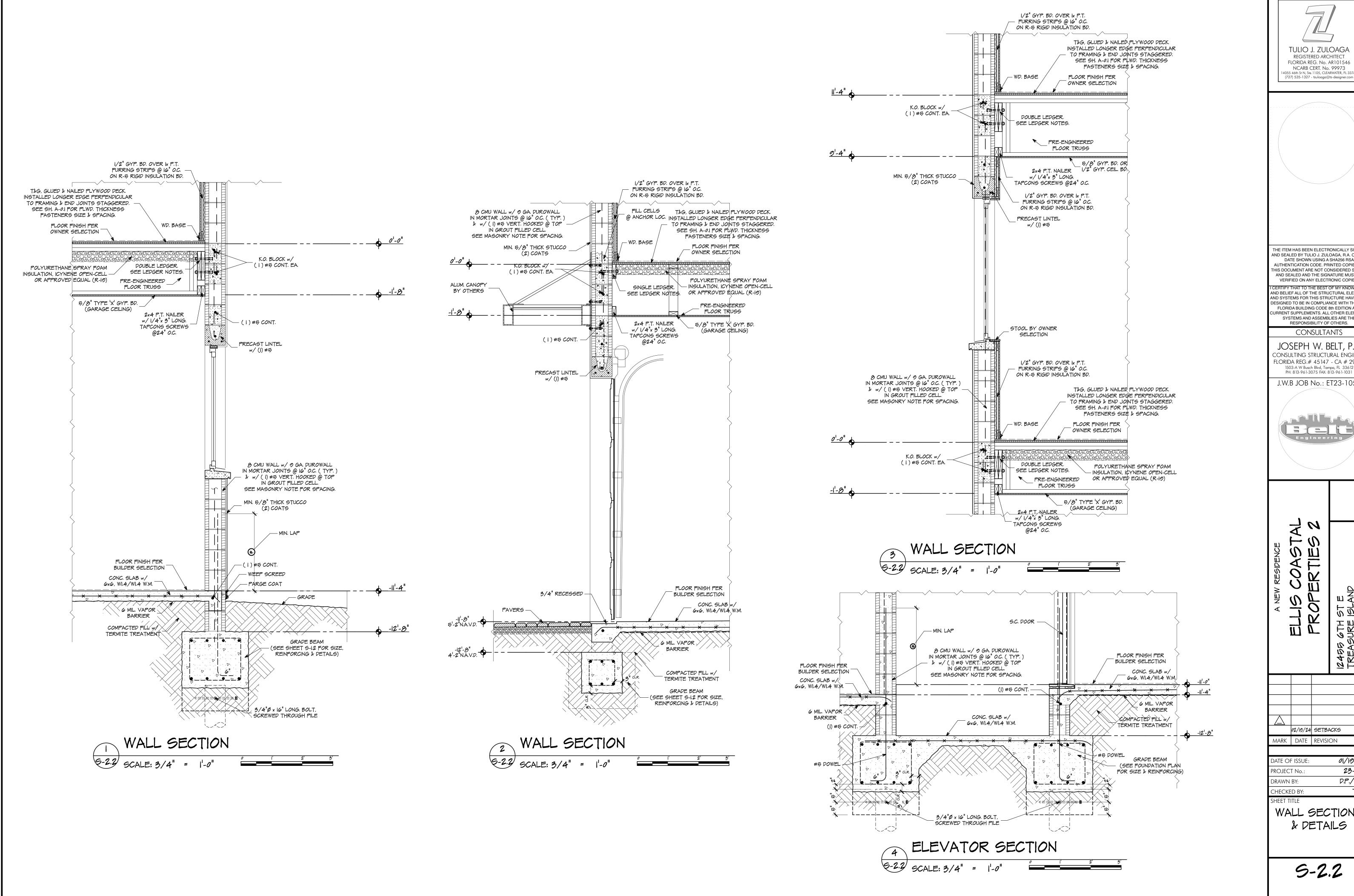
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01/19/24 23-052 D.P./ V.C T.J.Z

> WALL SECTIONS & DETAILS

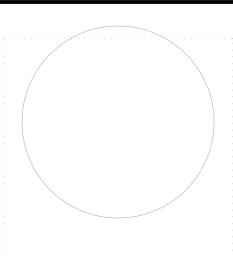
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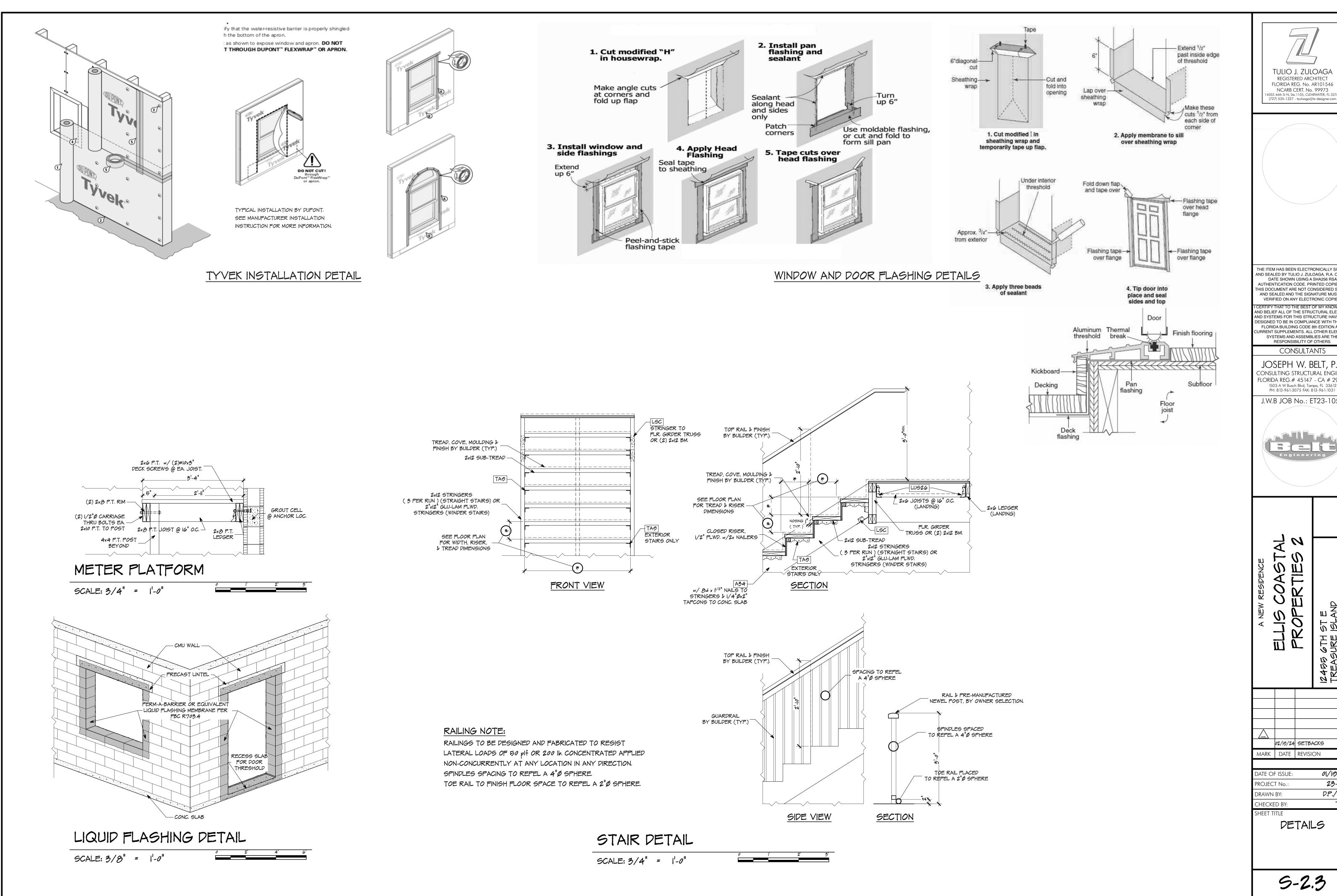
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02/19/24 SETBACKS

01/19/24 23-052 D.P./ V.C T.J.Z.

WALL SECTIONS & DETAILS



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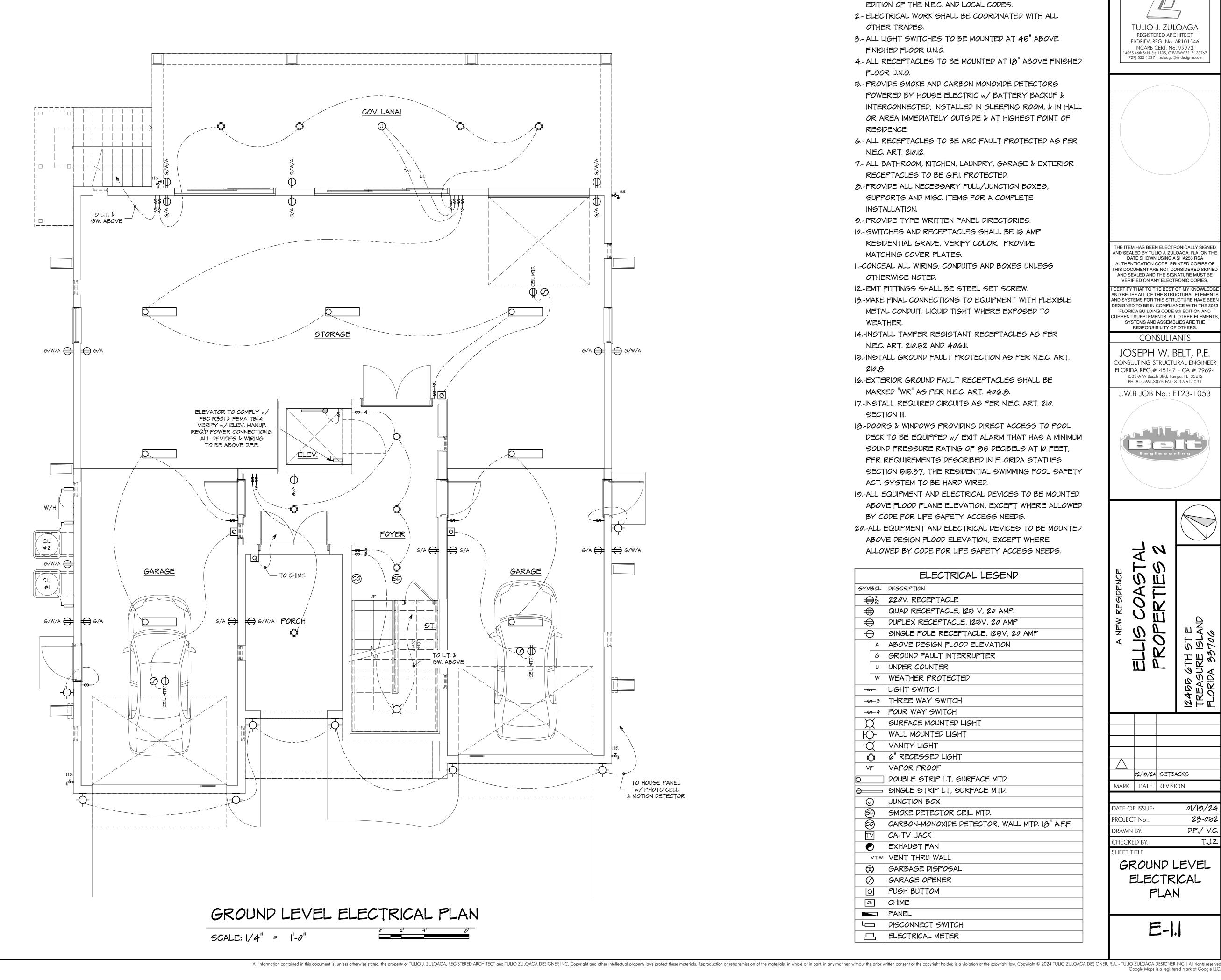


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DETAILS

9-2.3

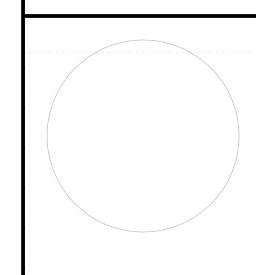


ELECTRICAL NOTES:

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- 3.- ALL LIGHT SWITCHES TO BE MOUNTED AT 45" ABOVE FINISHED FLOOR U.N.O.
- 4.- ALL RECEPTACLES TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR U.N.O.
- 5.- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS POWERED BY HOUSE ELECTRIC w/ BATTERY BACKUP & INTERCONNECTED, INSTALLED IN SLEEPING ROOM, & IN HALL OR AREA IMMEDIATELY OUTSIDE & AT HIGHEST POINT OF RESIDENCE.
- 6.- ALL RECEPTACLES TO BE ARC-FAULT PROTECTED AS PER N.E.C. ART. 210.12.
- 7.- ALL BATHROOM, KITCHEN, LAUNDRY, GARAGE & EXTERIOR RECEPTACLES TO BE G.F.I. PROTECTED.
- 8 PROVIDE ALL NECESSARY PULL/JUNCTION BOXES, SUPPORTS AND MISC. ITEMS FOR A COMPLETE INSTALLATION.
- 9.- PROVIDE TYPE WRITTEN PANEL DIRECTORIES.
- 10.- SWITCHES AND RECEPTACLES SHALL BE 15 AMP RESIDENTIAL GRADE, VERIFY COLOR. PROVIDE MATCHING COVER PLATES.
- II.-CONCEAL ALL WIRING, CONDUITS AND BOXES UNLESS OTHERWISE NOTED.
- 12.-EMT FITTINGS SHALL BE STEEL SET SCREW.
- 13.-MAKE FINAL CONNECTIONS TO EQUIPMENT WITH FLEXIBLE METAL CONDUIT. LIQUID TIGHT WHERE EXPOSED TO WEATHER.
- 14.-INSTALL TAMPER RESISTANT RECEPTACLES AS PER N.E.C. ART. 210.52 AND 406.11.
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SYMBOL	DESCRIPTION
⊕°°	220V. RECEPTACLE
	QUAD RECEPTACLE, 125 V, 20 AMP.
$\overline{\oplus}$	DUPLEX RECEPTACLE, 125V, 20 AMP
$\overline{\bullet}$	SINGLE POLE RECEPTACLE, 125V, 20 AMP
Α	ABOVE DESIGN FLOOD ELEVATION
G	GROUND FAULT INTERRUPTER
U	UNDER COUNTER
W	WEATHER PROTECTED
-∽-	LIGHT SWITCH
-69- 3	THREE WAY SWITCH
-69- 4	FOUR WAY SWITCH
X	SURFACE MOUNTED LIGHT
Ю-	WALL MOUNTED LIGHT
- \	VANITY LIGHT
©	6" RECESSED LIGHT
VP	VAPOR PROOF
	DOUBLE STRIP LT, SURFACE MTD.
	SINGLE STRIP LT, SURFACE MTD.
0	JUNCTION BOX
6 D	SMOKE DETECTOR CEIL. MTD.
0	CARBON-MONOXIDE DETECTOR, WALL MTD. 18" A.F.F.
TV	CA-TV JACK
•	EXHAUST FAN
V.Ţ.W.	VENT THRU WALL
8	GARBAGE DISPOSAL
Ø	GARAGE OPENER
0	PUSH BUTTOM
СН	CHIME
	PANEL
—	DISCONNECT SWITCH
В	ELECTRICAL METER





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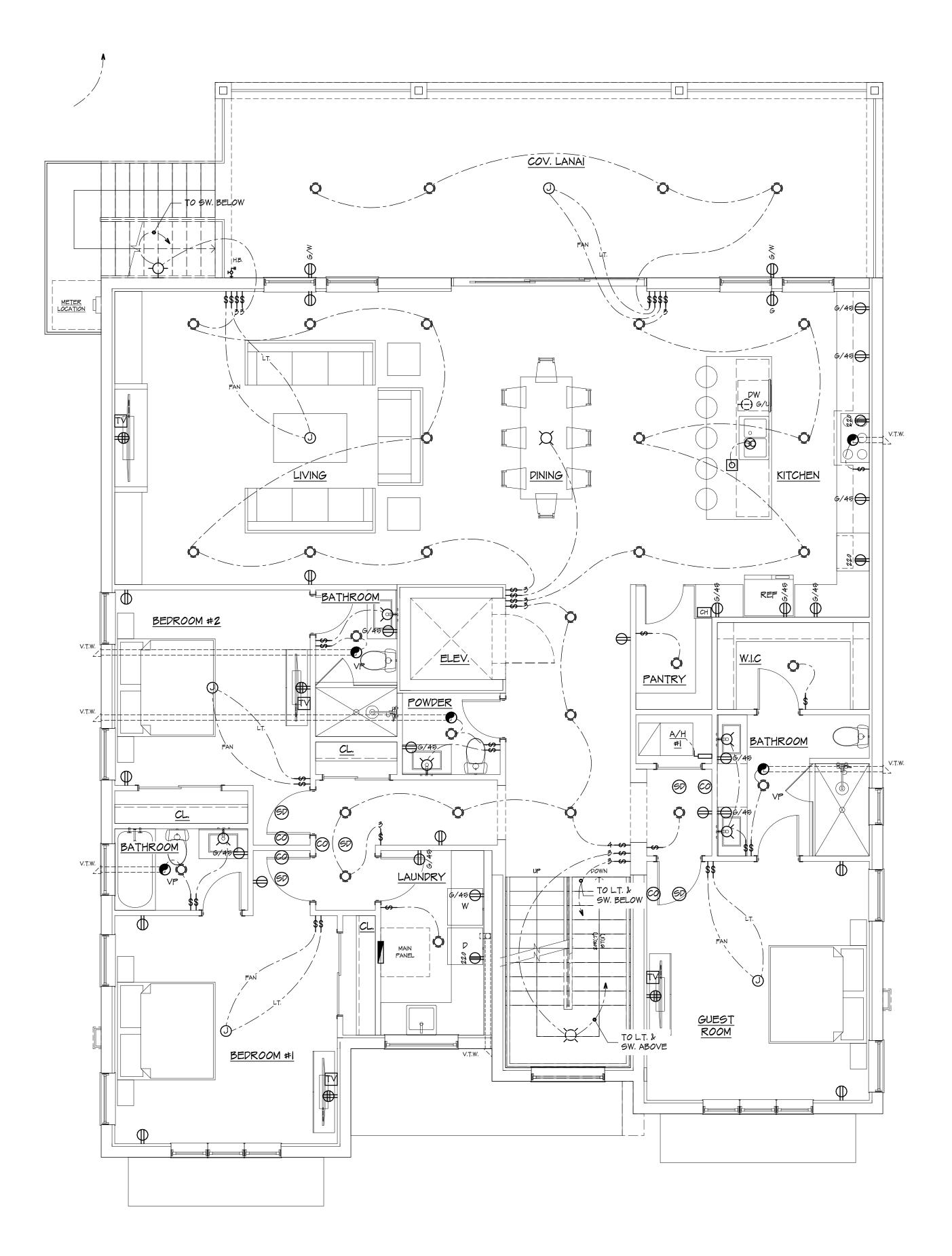


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DATE OF ISSUE: 01/19/24 23-052 DRAWN BY:

GROUND LEVEL ELECTRICAL PLAN

E-1.1



FIRST LEVEL ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

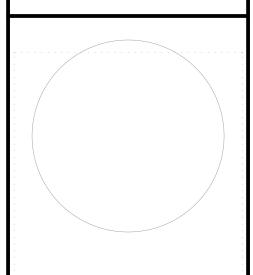
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\Rightarrow	DUPLEX RECEPTACLE, 125V, 20 AMP
\ominus	SINGLE POLE RECEPTACLE, 125V, 20 AMP
А	ABOVE DESIGN FLOOD ELEVATION
G	GROUND FAULT INTERRUPTER
U	UNDER COUNTER
W	WEATHER PROTECTED
	LIGHT SWITCH
-6- 3	THREE WAY SWITCH
-65- 4	FOUR WAY SWITCH
<u> </u>	SURFACE MOUNTED LIGHT
Ю	WALL MOUNTED LIGHT
-Á	VANITY LIGHT
Ô	6" RECESSED LIGHT
VP	VAPOR PROOF
0	DOUBLE STRIP LT, SURFACE MTD.
	SINGLE STRIP LT, SURFACE MTD.
<u> </u>	JUNCTION BOX
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J.W.B JOB No.: ET23-1053



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OPERTIES 2

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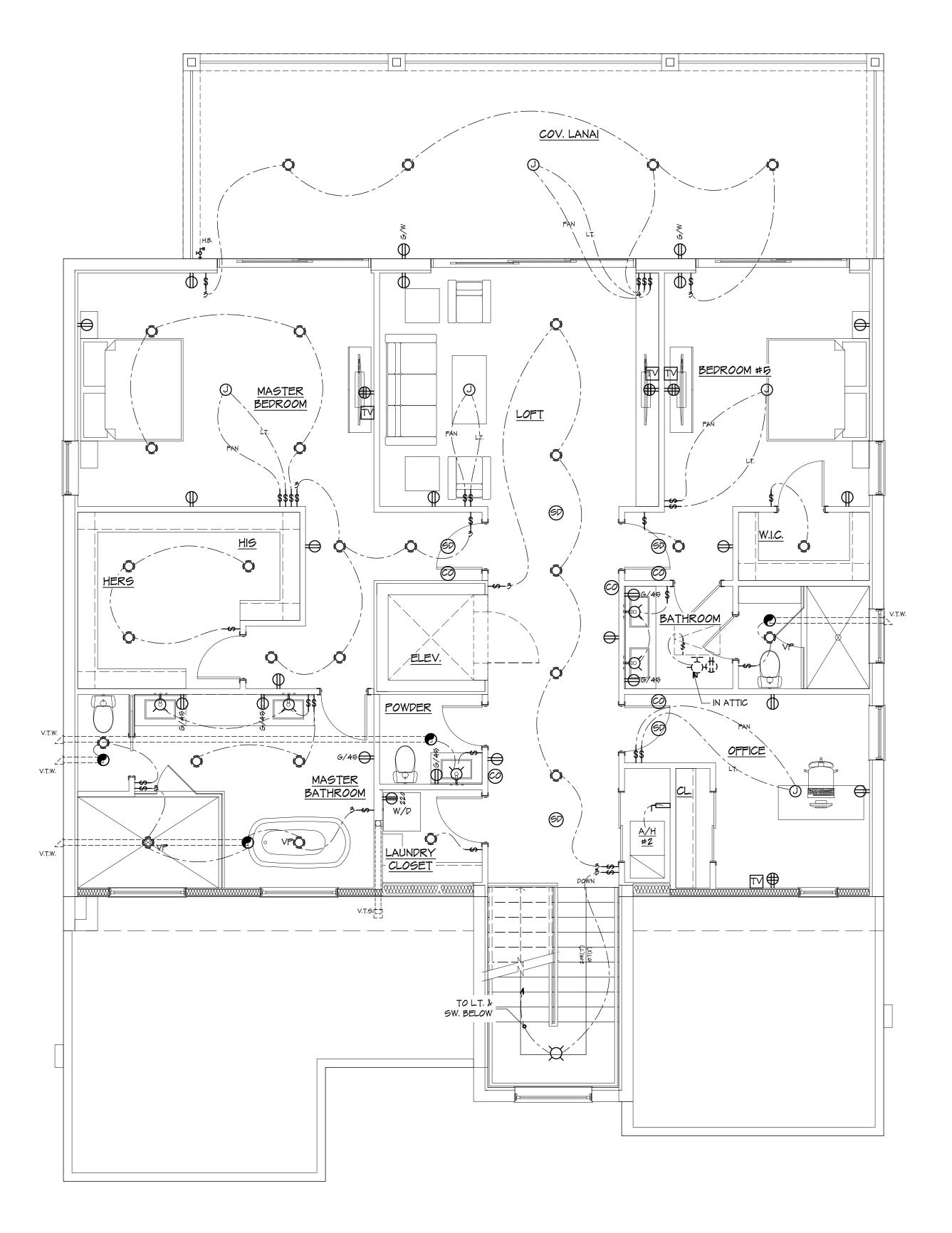
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DRAWN BY: D.P./ V.C.

CHECKED BY:
SHEET TITLE

FIRST LEVEL ELECTRICAL PLAN

E-1.2



SECOND LEVEL ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

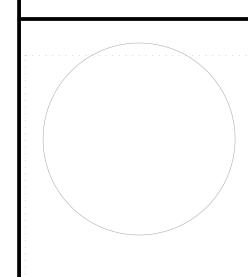
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0	PUSH BUTTOM
СН	CHIME
	PANEL
4	DISCONNECT SWITCH
	ELECTRICAL METER

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OPERTIES 2

02/19/24 SETBACKS

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SECOND LEVEL
ELECTRICAL
PLAN

E-1.3